

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: October 17, 2022

TO: Agricultural Advisory Committee

FROM: Olivia Boo, Planning Staff, oboo@smcgov.org

SUBJECT: Consideration of a Coastal Development Permit, Resource Management-Coastal Zone Permit, and Use Permit, pursuant to Sections 6328.4, 6903, and 6905 of the County Zoning Regulations to propose two new farm labor housing units and a new septic system. The farm labor housing units will utilize an existing domestic well on site. There is minimal grading proposed, no tree removal and minimal vegetation removal. The property is located at 1585 Sunshine Valley Road in the unincorporated Moss Beach area of San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN2022-00058 (Smith)

PROPOSAL

The applicant proposes to construct two farm labor housing units and a new septic system on the 1.147-acre property to support an on-going agricultural operation on-site that consists of growing succulent plants. The two farm labor housing units will be located next to the existing barn (north side). There is an existing well on-site (housed in a shed) which will provide domestic water to the two farm labor housing units. Approximately 35 cubic yards of grading is proposed and no tree removal.

DECISION MAKER

Zoning Hearing Officer

QUESTIONS FOR THE AGRICULTURAL ADVISORY COMMITTEE

1. Will the development have any negative effect on surrounding agricultural uses? If so, can any conditions of approval be recommended to minimize any such impact?
2. What position do you recommend that Planning staff take with respect to the application for this project?

BACKGROUND

Report Prepared By: Olivia Boo, Project Planner, oboo@smcgov.org

Applicant/Owner: Therese Smith

Location: 1585 Sunshine Valley Road, Moss Beach

APN: 037-053-080

Parcel Size: 1.147 acres

Existing Zoning: RM-CZ/DR/CD (Resource Management-Coastal Zone/Design Review/Coastal Development)

General Plan Designation: Very Low Density Residential

Local Coastal Plan Designation: Open Space

Williamson Act: Not contracted.

Existing Land Use: Domestic well, barn, hoop structures.

Water Supply: Existing domestic well (County File Number: PLN 2010-00103).

Sewage Disposal: There is no sewer service or septic system currently associated with this property. A septic system is proposed.

Flood Zone: FEMA Flood Zone A (areas subject to inundation by the 1-percent-annual-chance flood event generally determined using approximate methodologies. Because detailed hydraulic analyses have not been performed, FEMA has no Base Flood Elevations (BFEs) or flood depths. Mandatory flood insurance purchase requirements and floodplain management standards apply). FEMA flood panel 06081C0117F; effective date August 2, 2017. At the building permit stage, FEMA flood certification is required.

Environmental Evaluation: Categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act (CEQA) Guidelines for the construction of new small facilities or structures. All development will be located outside, approximately 24-feet, of the identified riparian corridor and will comply with flood regulations.

Setting: The property is surrounded by single-family residences to the north, west and south. San Vicente Trail (San Mateo County Linear Park and Trail Plan) and undeveloped area exists behind the property, east of the parcel. The first 20 feet of the parcel slopes downward (approximate 5 to 10 percent downslope to the west) from Sunshine Valley Road with the parcel flattening as it continues toward the rear of the property. Multiple mature trees, consisting of eucalyptus and Monterey pine, are

located within the first 60 feet of the property. There is riparian vegetation at the rear south corner of the parcel adjacent to San Vicente creek. The existing domestic well shed is located at approximately 65 feet from the front property line. The barn is located 50 feet north of the well.

Will the project be visible from a public road?

The project parcel slopes down, approximately 10 feet, away from Sunshine Valley Road right-of-way. The farm labor housing units will be visible from Sunshine Valley Road but will have similar visual impact to surrounding parcels that are developed with single-family residences. Sunshine Valley Road is not a scenic corridor.

Will any habitat or vegetation need to be removed for the project?

Minor vegetation is proposed to be removed to locate the two new farm labor housing units on-site. Approximately half of the property is already disturbed with ongoing agricultural use (i.e. growing succulents within existing hoop houses).

The submitted biologist report, prepared by WRA Environmental Consultants, identified a willow riparian area and an intermittent waterway on or near the parcel. WRA visited the property in 2016 when the barn was proposed and approved. The April 4, 2022 report confirms the intermittent waterway course is unchanged from 2016, and the willow riparian canopy is virtually unchanged. The property still lacks essential habitat characteristics to potentially support special-status species. Birds, that are considered under the Migratory Bird Treaty Act (MBTA) and California Fish and Game Code (CFGC) have the potential to nest in the site's remaining trees and the willow riparian. To avoid potential impacts to breeding birds, it is recommended that any tree or shrub removal be conducted between September 1 and February 15, outside of the breeding season. According to the proposed project plans, the applicant does not plan to construct the project during the breeding season, between September 1 and February 15.

The intermittent drainage and adjoining riparian habitat are considered sensitive habitats in the Local Coastal Program (LCP) and buffer zones are required. The LCP requires 30-foot buffers to be established from the edge of riparian vegetation along intermittent waterways. The project elements are proposed to be located approximately 24-feet outside of the 30-foot buffer. The 30-foot buffer is established from the edge of riparian.

Based on the above, the project is not expected to create impacts to sensitive natural resources located or potentially located on the property. Based on habitat conditions during WRA's assessment, no protocol-level surveys are recommended.

Is there prime soil on the project site?

The San Mateo County Geographic Information System (GIS) indicates there is no

prime soils on the parcel.

DISCUSSION

A. KEY ISSUES

Planning staff has reviewed this proposal and has concluded the following:

1. **Compliance with Resource Management-Coastal Zone District (RM) Regulations:**

The parcel is zoned RM-CZ/DR/CD (Resource Management-Coastal Zone/Design Review/Coastal Development). Construction of agricultural structures and agricultural uses are allowed uses in the RM-CZ District. Compliance with the Development Standards is outlined below:

	Development Standards	Proposed
Minimum Front Setback	50 feet	69 feet
Minimum Rear Setback	20 feet	114 feet
Minimum Side Setbacks	20 feet	Left side yard: 20 feet Right side yard: 146 feet
Maximum Height	36 feet	16 feet

Parking Regulations

The County Parking Regulations do not establish a number of parking spaces for agricultural supporting uses, however, the project includes three parking spaces, including one ADA space, that are compliant with the minimum parking dimensions typically required (9 feet wide x 19 feet deep).

Environmental Quality and Primary Fish and Wildlife Habitat Area Criteria

Environmental Quality and Primary Fish and Wildlife Habitat Criteria seek to minimize grading, adverse impacts on wildlife habitat areas, and prohibit the introduction of significant levels of noxious odors or long-term noise levels.

The subject parcel is 1.147 acres and the two farm labor housing units will be located in an area that is already disturbed with agricultural hoop structures which will be relocated. The two farm labor housing units will be clustered with the existing barn. Minimal grading is proposed, approximately 35 cubic yards. As discussed, the intermittent waterway and adjoining riparian habitat are considered sensitive habitats in the Local

Coastal Program (LCP) and buffer zones are required. The project is not expected to create impacts to sensitive natural resources located or potentially located on the property. See staff's discussion above addressing the question "*Will any habitat or vegetation need to be removed for the project?*".

Site Design Criteria and Primary Scenic Resources Criteria

The Site Design and Primary Scenic Resources Criteria seek to ensure that development be sited and designed so that its presence is subordinate to the existing natural characteristics of the site, and avoids substantially detracting from the scenic and visual quality of the County.

The two farm labor housing units would be conditioned to be painted earth tone colors to blend with the surrounding natural environment. No trees are proposed to be removed, and only minor low growing (non-sensitive) vegetation may need to be removed. The property is not located within a scenic corridor.

Utilities Criteria

The Utilities Criteria promotes the use of underground utility lines when possible and that there be an adequate septic system and water supply. The project proposes a new septic system and use of an existing domestic well to serve the farm labor housing units. The project has been reviewed by Environmental Health Services for septic and well requirements and has been conditionally approved.

Water Resources and Primary Water Resources Area Criteria

The Water Resources and Primary Water Resources Area Criteria seek (a) to minimize grading and changes in vegetative cover, manage surface water runoff, and implement erosion and sedimentation control processes to assure stability of downstream aquatic environments, and (b) demonstrate that withdrawals from groundwater will not be in such quantity that a continued supply would jeopardize or result in salt intrusion, construction will not significantly disrupt or diminish natural patterns of groundwater supply, and no development or alteration shall interfere with existing capacity of water bodies.

The property has an existing domestic well and both the existing well and the proposed septic system have been reviewed by Environmental Health Services and conditionally approved. The proposed septic system is not expected to conflict with the on-site well. The project would be conditioned to install erosion control measures during the duration of the construction as well as maintain the required 30-foot setback from the riparian buffer along the creek.

Cultural Resources Criteria

The Cultural Resources Criteria seeks to avoid damaging or destroying archaeological or paleontological resources. The agricultural growing of succulents has been in operation since 2020, a domestic well was approved and drilled in 2010, and the barn was approved in 2019. The subject parcel is developed with a domestic well and barn. The parcel is also located in an urbanized area with neighboring parcels developed with low density single-family dwellings, therefore, archaeological findings are not expected. If any archaeological evidence is discovered, all construction shall be suspended until the site is investigated by a specialist.

Conditions would be added that should archaeological evidence be found, appropriate measures are implemented to minimize impacts.

2. Compliance with Local Coastal Program (LCP) Policies:

Staff has determined that the project is compliant with applicable Local Coastal Program (LCP) Policies, discussed below.

a. Sensitive Habitats Component

Policy 7.1 (Definition of Sensitive Habitats) and Policy 7.3 (Protection of Sensitive Habitats) define sensitive habitats as any area in which plant or animal life or their habitats are either rare or especially valuable, any area which meet specific sensitive habitat criteria and to prohibit any development that would significantly impact sensitive habitats.

The project is not expected to create impacts to sensitive natural resources located or potentially located on the property. See staff's discussion above addressing the question "*Will any habitat or vegetation need to be removed for the project?*".

b. Visual Resources Component

Policy 8.5 (Location of Development) requires new development be located on a portion of a parcel where the development is least likely to significantly impact views from public viewpoints and best preserves the visual and open space qualities of the parcel overall.

The two proposed prefabricated farm labor housing units will be located north of the existing barn, approximately 10 feet below the street elevation of Sunshine Valley Road (not within a scenic corridor). The units will be 480 sq. ft. and 840 sq. ft. in size with a 12/4 pitched

roof and total height of approximately 12 ft. The location of the development will not significantly impact the rural landscape views from the public right-of-way.

Policy 8.6 (Streams, Wetlands, and Estuaries) requires development to be set back from the edge of streams and other natural waterways a sufficient distance to preserve the visual character of the waterway.

As mentioned, the two prefabricated farm labor housing units will be located outside of the 30-foot buffer limit with the closest farm labor housing unit proposed to be set back 24 feet from the 30-foot buffer. Based on the adequate setback outside the 30-foot buffer, no protocol surveys for biological resources are recommended by the project biologist.

Policies 8.18 (Development Design) and 8.19 (Colors and Materials) require the development to blend with and be subordinate to the environmental and the character of the area where located and to employ colors and materials that blend with the surrounding physical conditions of the site.

The two farm labor housing units shall use earth tone colors. The applicant would be required to submit colors for review and approval by the Planning Division prior to building permit issuance.

3. Environmental Review

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303, Class 3 (New Construction), consisting of construction and location of new small facilities or structures. All development will be located outside of the identified riparian corridor and will comply with flood regulations.

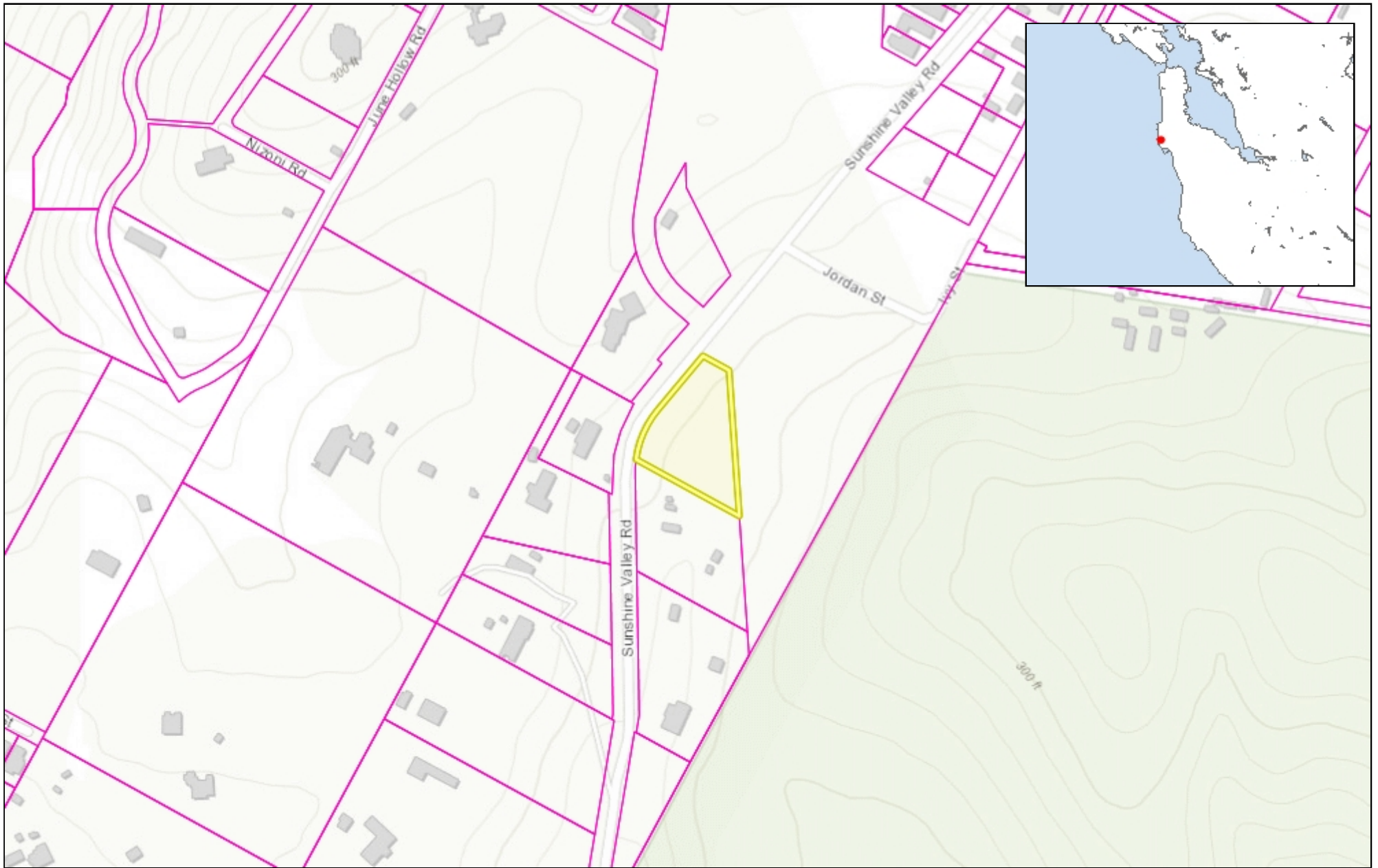
ATTACHMENTS

- A. Vicinity Map
- B. Plans
- C. WRA Environmental Consultants biologist report
- D. Applicant's letter to Agriculture Advisory Committee (dated September 22, 2022)



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A



0.14 0 0.07 0.14 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:4,514



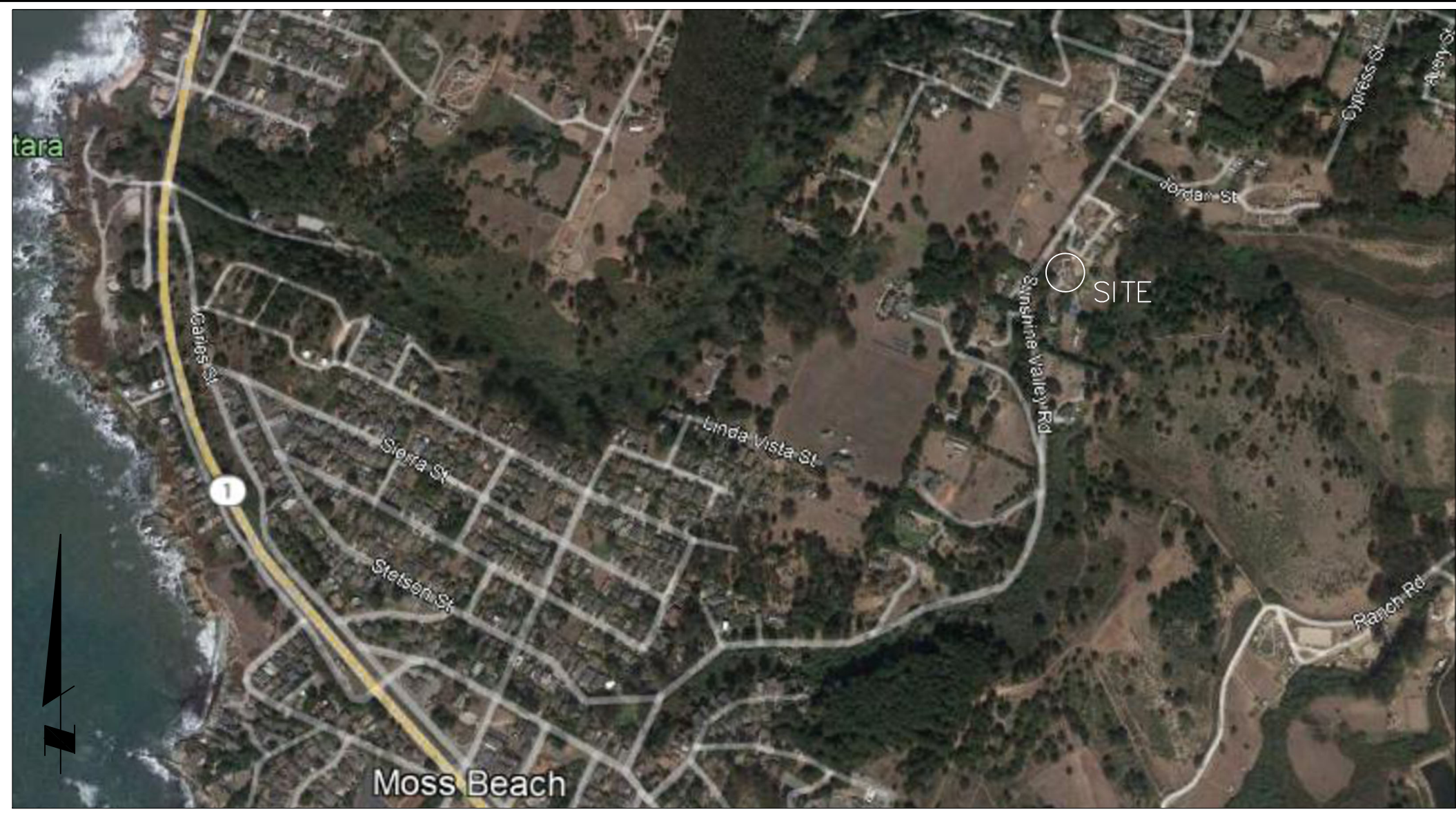
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



LOCATION MAP (Not to Scale)

PROJECT DESCRIPTION

ZONING: RM-CZ
 LOT SIZE: 50,000 SQUARE FEET +/-

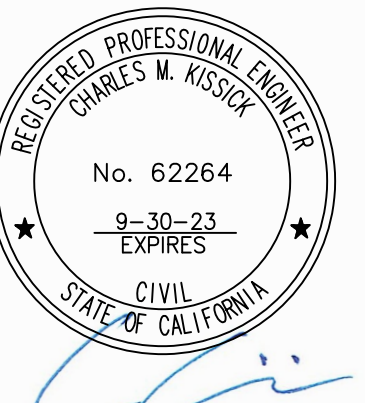
TWO MOBILE HOMES WILL BE PLACED ON THE PARCEL AS SHOWN AS PART OF THE SAN MATEO COUNTY FARM WORKER HOUSING PILOT PROGRAM. ONE UNIT AT 3 BEDROOM 1 BATH THE OTHER ONE BEDROOM 1 BATH. A SEPTIC SYSTEM WILL BE INSTALLED AS SHOWN AND THE EXISTING DOMESTIC WELL WILL BE USED WITH ADDED STORAGE AND TREATMENT AS NECESSARY. THE MOBILE HOMES WILL BE ALL ELECTRIC WITH SEPARATE SERVICE TO EACH UNIT.

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: THERESE SMITH, OWNER
2. TOPOGRAPHY BY BGT SURVEYING, SURVEYED JUNE, 2005. UPDATED JUNE, 2022.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.

FEMA FLOOD ZONE NOTES

1. A LETTER OF MAP AMENDMENT HAS BEEN APPROVED BY FEMA APRIL, 2016.
2. THE APPROVED BASE FLOOD ELEVATION IS 194.8 FEET.
3. THE PROPOSED FF ELEVATIONS OF THE MOBILE HOMES WILL BE SEVERAL FEET ABOVE THE BASE FLOOD ELEVATION.

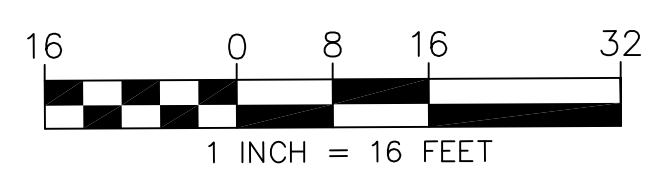
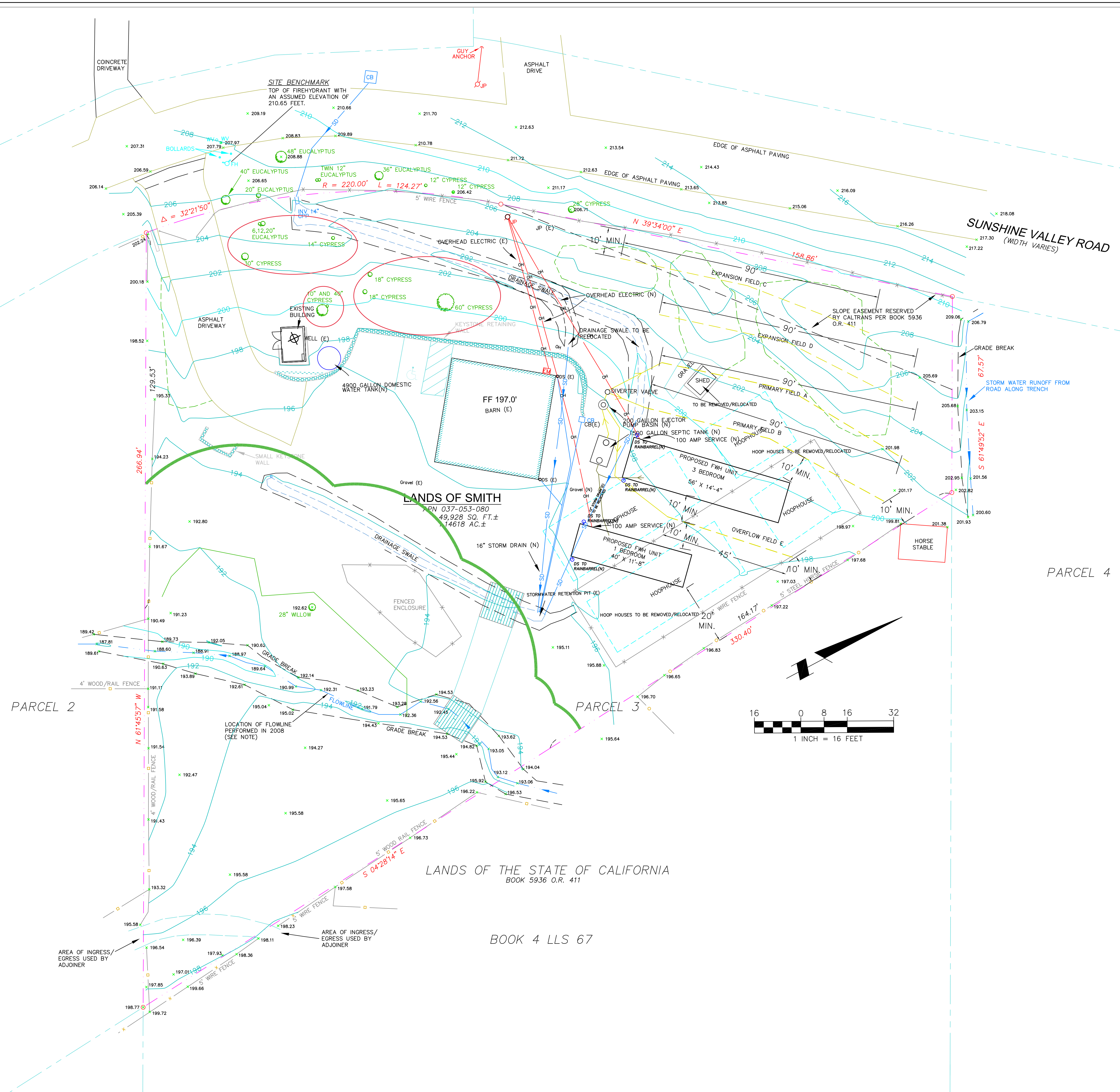


Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 SAN DIEGO, CA 94019
 (650) 728-2633
 sigmaprime@gmail.com

DATE: 2-16-2022
 DRAWN BY: AZG
 CHECKED BY: CMK
 REV. DATE: 6-22-22
 REV. DATE:

FARM WORKER HOUSING SITE PLAN
 SMITH PROPERTY
 1585 SUNSHINE VALLEY ROAD
 MOSS BEACH, CALIFORNIA
 APN: 037-053-080

SHEET C-1



PARCEL 4

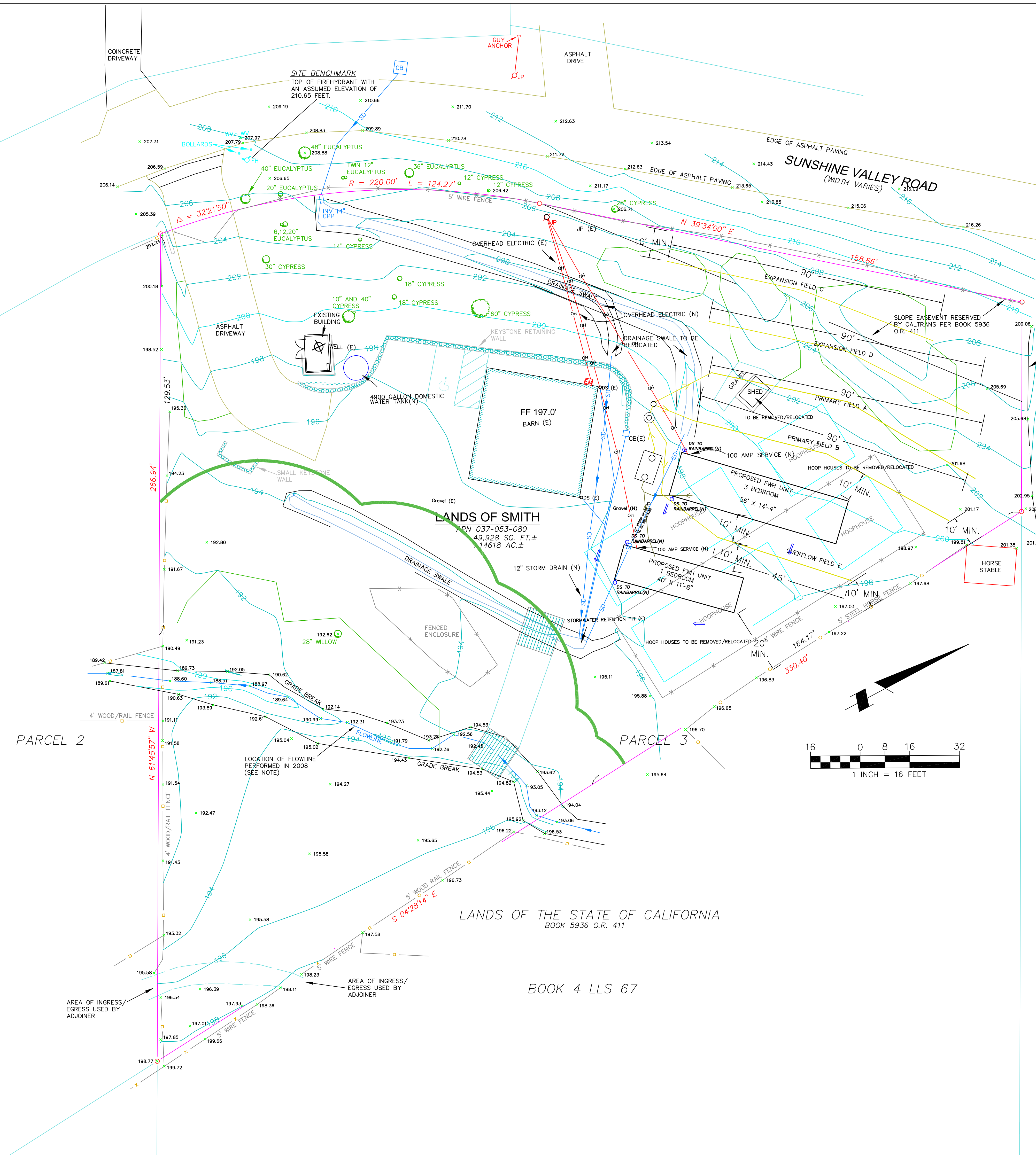
PARCEL 2

PARCEL 3

LANDS OF SMITH
 APN 037-053-080
 49,928 SQ. FT. ±
 14618 AC. ±

LANDS OF THE STATE OF CALIFORNIA
 BOOK 5936 O.R. 411

BOOK 4 LLS 67



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: THERESE SMITH, OWNER.
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3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.

LEGEND

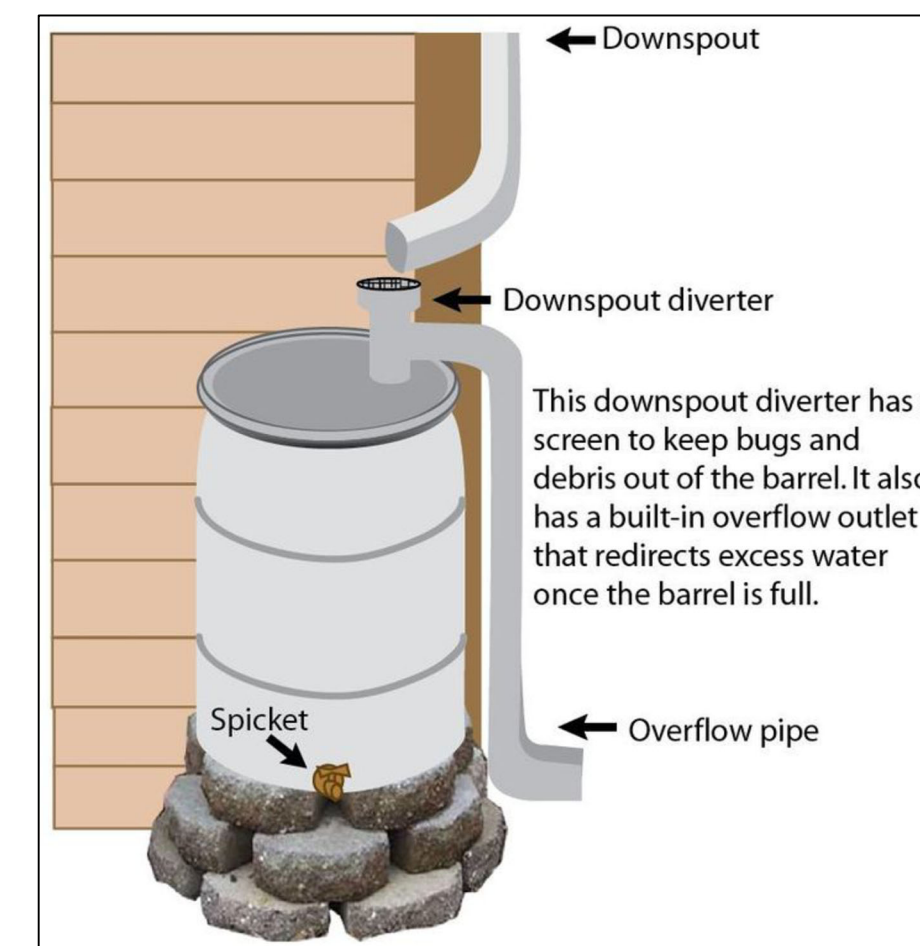
- EXISTING CONTOURS
- DOWNSPOUT
- 4" SOLID DRAIN PIPE
- DIRECTION OF SURFACE DRAINAGE

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO EXISTING RETENTION PIT, AS SHOWN. TOTAL COMBINED VOLUME OF RETENTION PIT AND DRAINAGE SWALE IS ABOUT 550 CUBIC FEET. THEY OVERFLOW ACROSS ABOUT 5600 SQUARE FEET OF LANDSCAPED AREA BEFORE REACHING THE CREEK.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE RETENTION PIT TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME : 25 CY (FOR MOBILE HOME PADS)
 - FILL VOLUME: 10 CY (DRAIN ROCK FOR POSITIVE DRAINAGE AT MOBILE HOME PAD AREA)
- VOLUMES ABOVE ARE APPROXIMATE.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

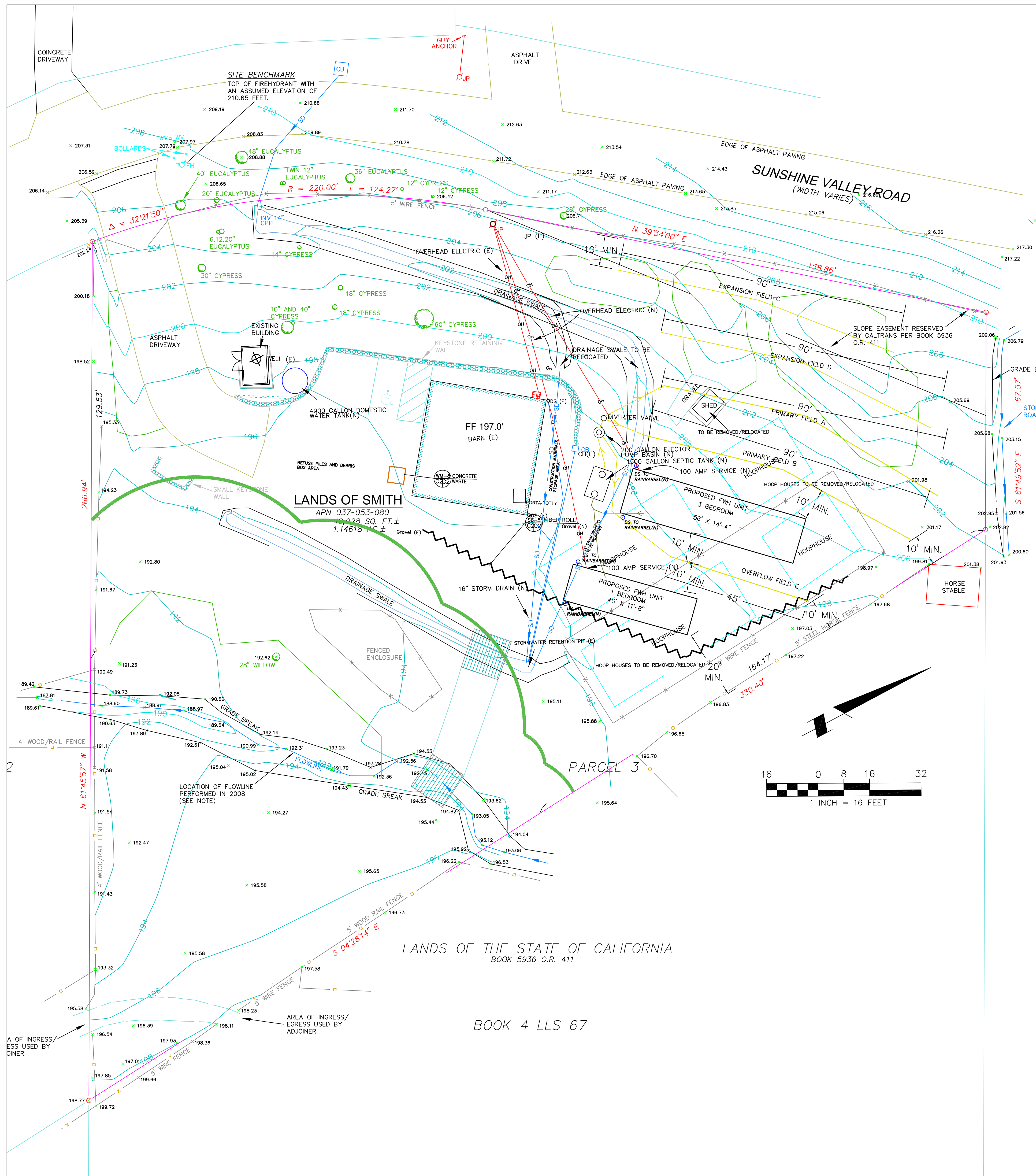


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DATE: 2-16-2022
 DRAWN BY: AZG
 CHECKED BY: CMK
 REV. DATE: 6-29-22
 REV. DATE:

FARM WORKER HOUSING GRADING AND DRAINAGE PLAN
 SMITH PROPERTY
 1585 SUNSHINE VALLEY ROAD
 MOSS BEACH, CALIFORNIA
 APN: 037-053-080

SHEET C-2



GENERAL EROSION AND SEDIMENT CONTROL NOTES

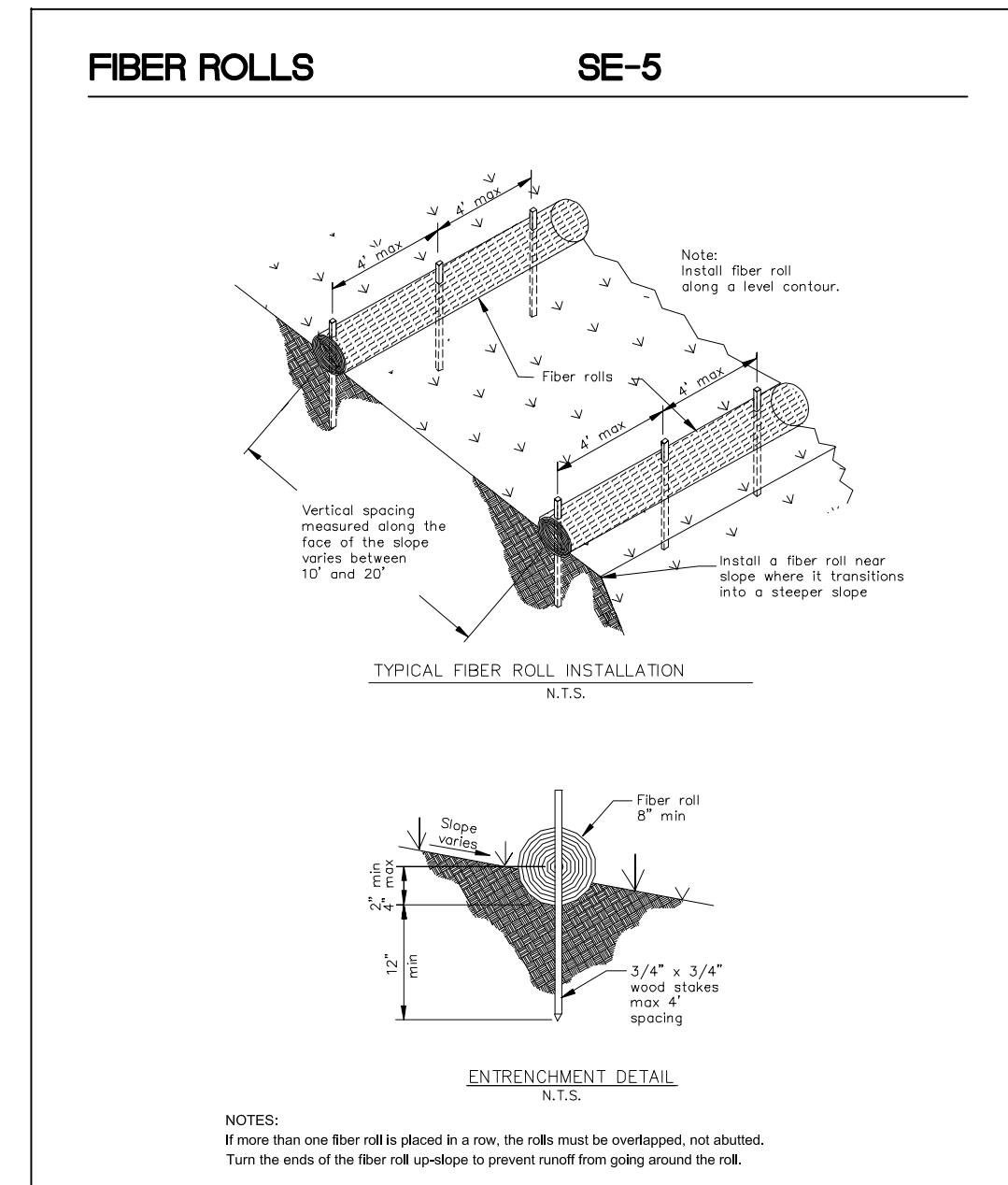
FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines near the construction site.

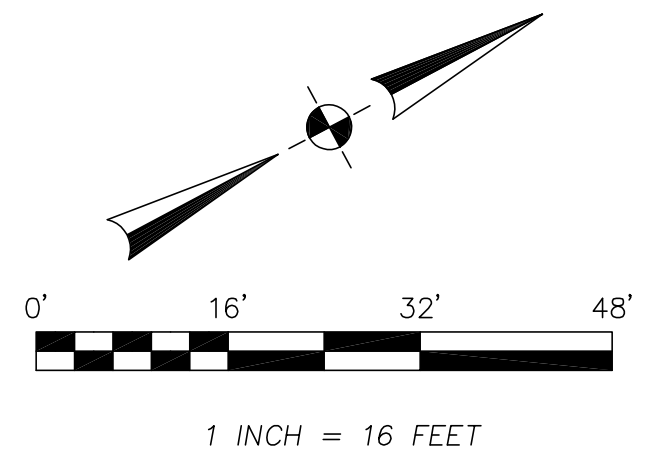
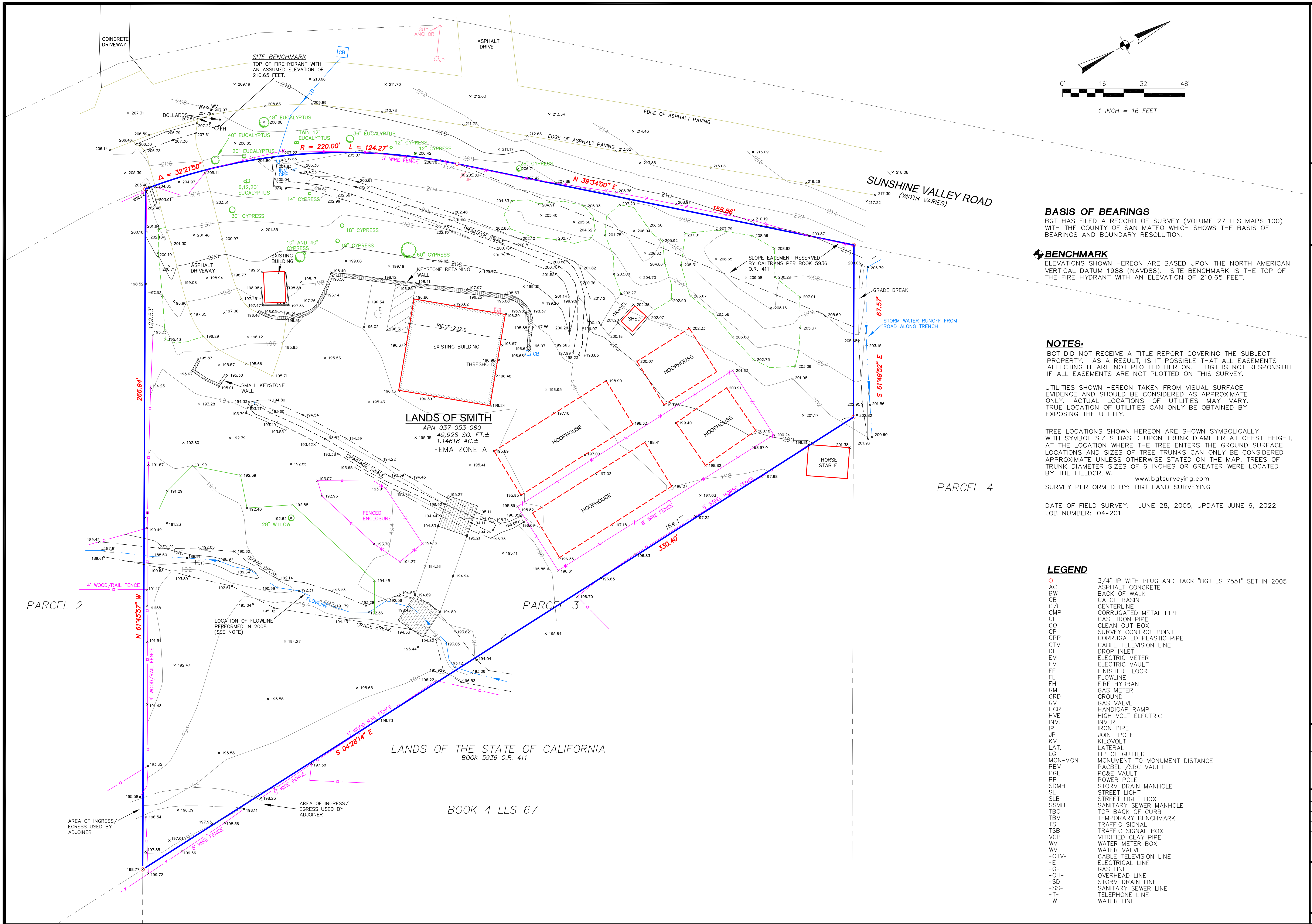
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: THERESE SMITH
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-279-4397
 PHONE:
 E-MAIL: KITTYWAKE@SBCGLOBAL.NET



DATE: 2-16-2022 DRAWN BY: AZG CHECKED BY: CMK REV. DATE: 6-29-22 REV. DATE:	Sigma Prime Geosciences, Inc. 	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 726-3590 sigmaprime@gmail.com
	FARM WORKER HOUSING EROSION & SEDIMENT CONTROL PLAN	SMITH PROPERTY 1585 SUNSHINE VALLEY ROAD MOSS BEACH, CALIFORNIA APN: 037-053-080
SHEET C-3		



www.bgtlandsurveying.com
BGT LAND SURVEYING
 871 Woodside Way - San Mateo, CA 94401
 Main (650) 212-1030 | bgt@bgtlandsurveying.com



BASIS OF BEARINGS
 BGT HAS FILED A RECORD OF SURVEY (VOLUME 27 LLS MAPS 100) WITH THE COUNTY OF SAN MATEO WHICH SHOWS THE BASIS OF BEARINGS AND BOUNDARY RESOLUTION.

BENCHMARK
 ELEVATIONS SHOWN HEREON ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). SITE BENCHMARK IS THE TOP OF THE FIRE HYDRANT WITH AN ELEVATION OF 210.65 FEET.

NOTES:
 BGT DID NOT RECEIVE A TITLE REPORT COVERING THE SUBJECT PROPERTY. AS A RESULT, IS IT POSSIBLE THAT ALL EASEMENTS AFFECTING IT ARE NOT PLOTTED HEREON. BGT IS NOT RESPONSIBLE IF ALL EASEMENTS ARE NOT PLOTTED ON THIS SURVEY.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT. AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

www.bgtlandsurveying.com
 SURVEY PERFORMED BY: BGT LAND SURVEYING

DATE OF FIELD SURVEY: JUNE 28, 2005, UPDATE JUNE 9, 2022
 JOB NUMBER: 04-201

LEGEND

○	3/4" IP WITH PLUG AND TACK "BGT LS 7551" SET IN 2005
AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CI	CAST IRON PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
CTV	CABLE TELEVISION LINE
DI	DROP INLET
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GV	GAS VALVE
HCR	HANDICAP RAMP
HVE	HIGH-VOLT ELECTRIC
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
KV	KILOVOLT
LAT.	LATERAL
LG	LIP OF GUTTER
MON-MON	MONUMENT TO MONUMENT DISTANCE
PBV	PACBELL/SBC VAULT
PGE	PG&E VAULT
PP	POWER POLE
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SSMH	SANITARY SEWER MANHOLE
TBC	TOP BACK OF CURB
TBM	TEMPORARY BENCHMARK
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
VCP	VITRIFIED CLAY PIPE
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

BOUNDARY AND TOPOGRAPHIC SURVEY
 PORTION OF PARCEL 3, AS SHOWN ON THE RANDETT RECORD OF SURVEY (BOOK 4 LLS MAPS 67)
1585 SUNSHINE VALLEY ROAD
 MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:
 037-053-080

Prepared For:
 SIGMA PRIME GEOSCIENCES

Date: JUNE 2022
 Scale: 1" = 16'
 Contour Interval: 2'
 Drawn by: LHL

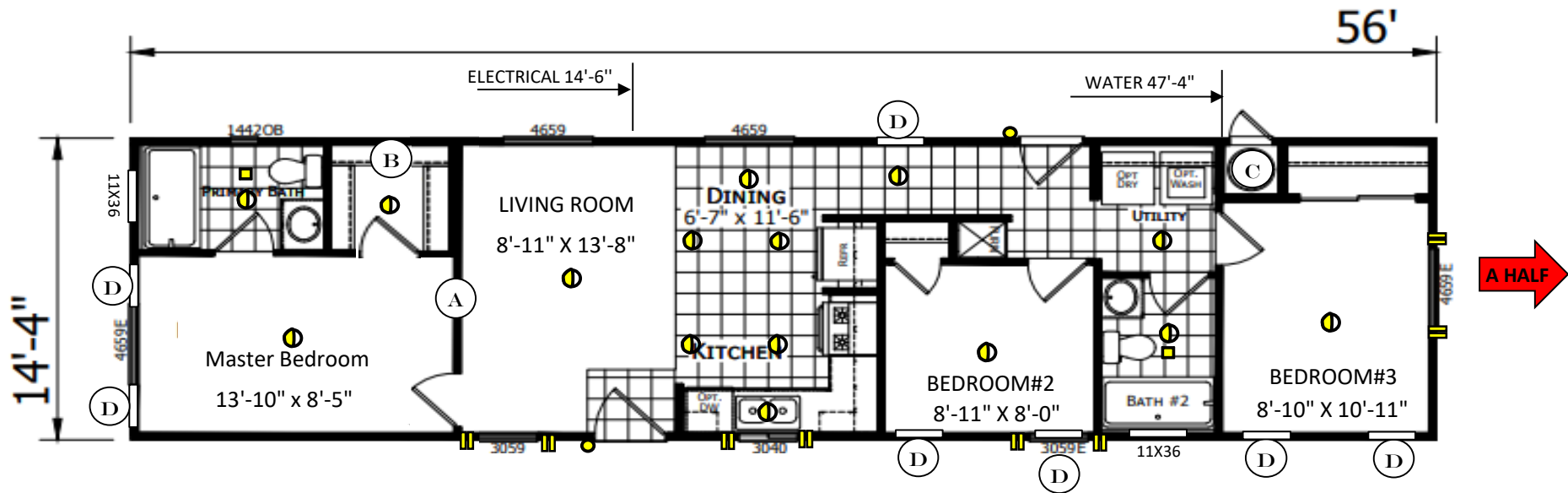
Revisions:

SU-1

Job No. 04-201

Exhaust Fan w/ Light	Can Light	Chandelier	Bank of Drawers	Standard Porch Light	Shutters
Switch	Ceiling Fan <i>tas</i>	Solar Tube	Rollout Shelves	Dix Light Over mirror	
Recept	TV Jack	Pendant Light	Hose Bib		
GFCI	Phone Jack	J-Box	Hitch End	Paddle fan prep	

GREEN GALAXY		
32417	CM6563B	803 SF



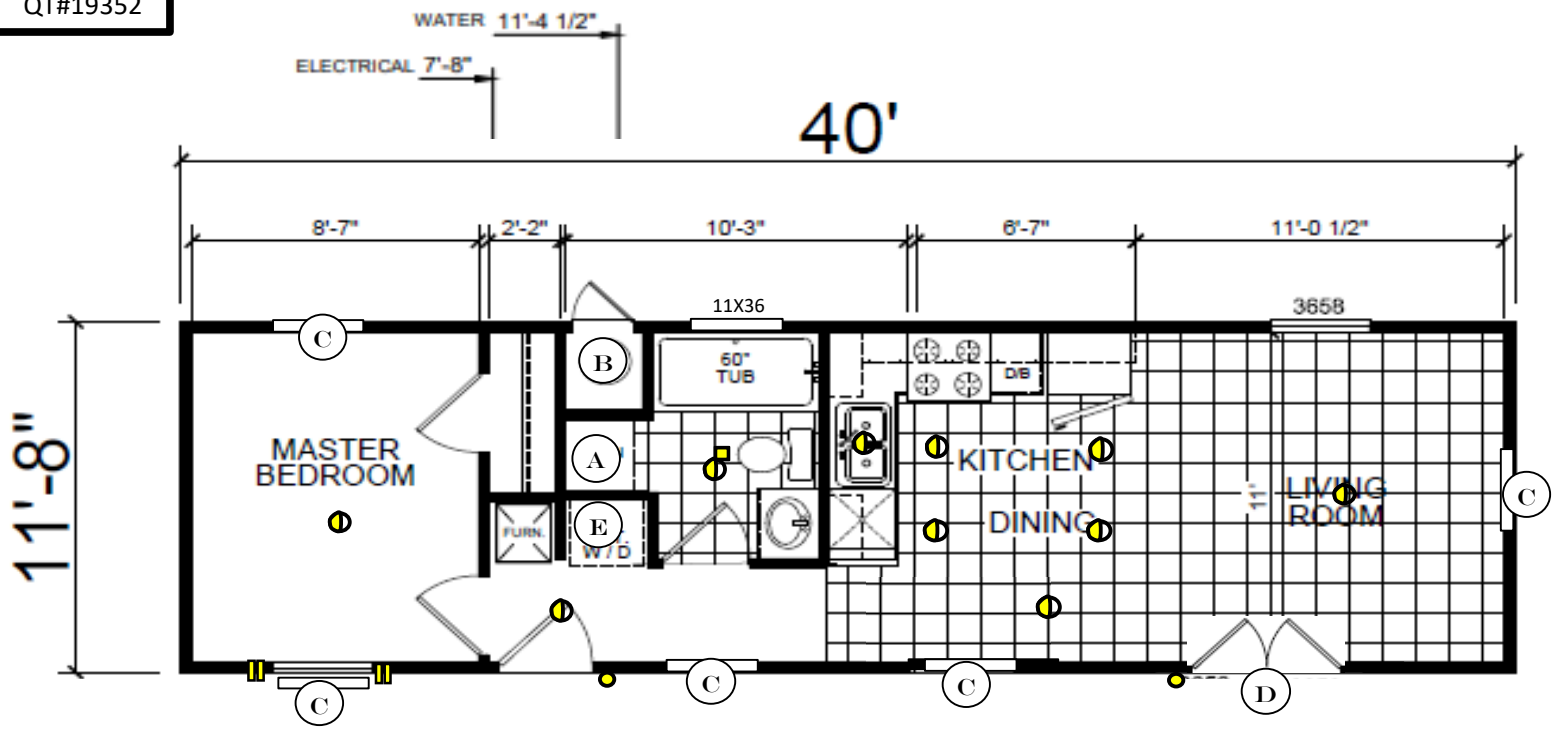
- A** MOVE WALL 2' INTO LIVING ROOM MAKING CLOSET 2' LARGER
- B** EXTENDED CLOSET
- C** 30 GAL ELECTRIC WATER HEATER
- D** TRANSOM WINDOW

ALL ELECTRIC HOME

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z

- Exhaust Fan w/ Light
- ⦿ Can Light
- ★ Chandelier
- DB Bank of Drawers
- Standard Porch Light
- ⦿ Shutters
- ⌘ Switch
- ✂ Ceiling Fan *tas*
- ☰ Solar Tube
- RS Rollout Shelves
- ⦿ Dix Light Over mirror
- ⦿ Recept
- ▼ TV Jack
- ✂ Pendant Light
- HB Hose Bib
- 32407
- 11'8" X 40'
- 467 SF
- ⦿ GFCI
- ▼ Phone Jack
- ⦿ J-Box
- ➔ Hitch End
- ⦿ Paddle fan prep

start with
QT#19352

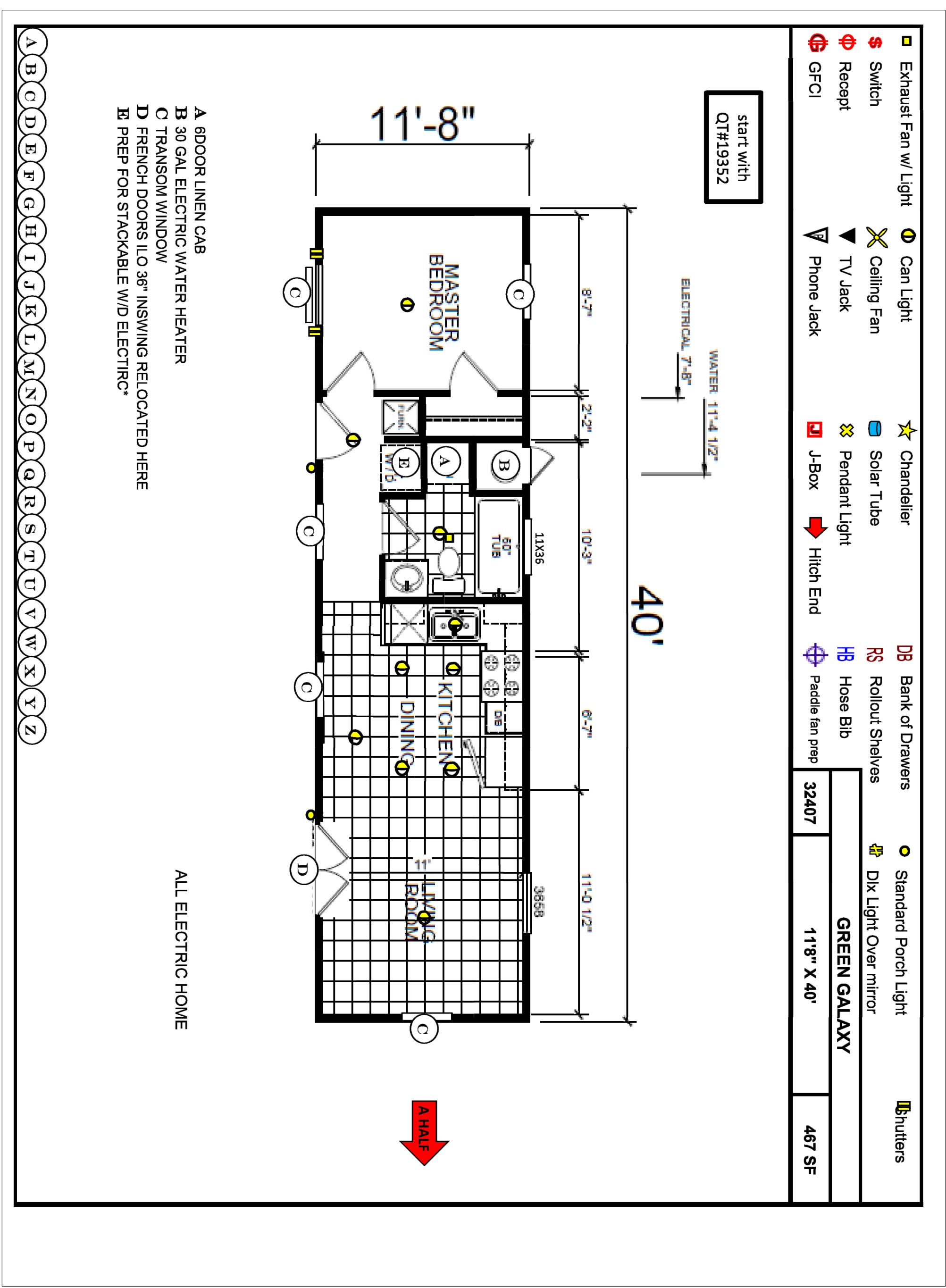
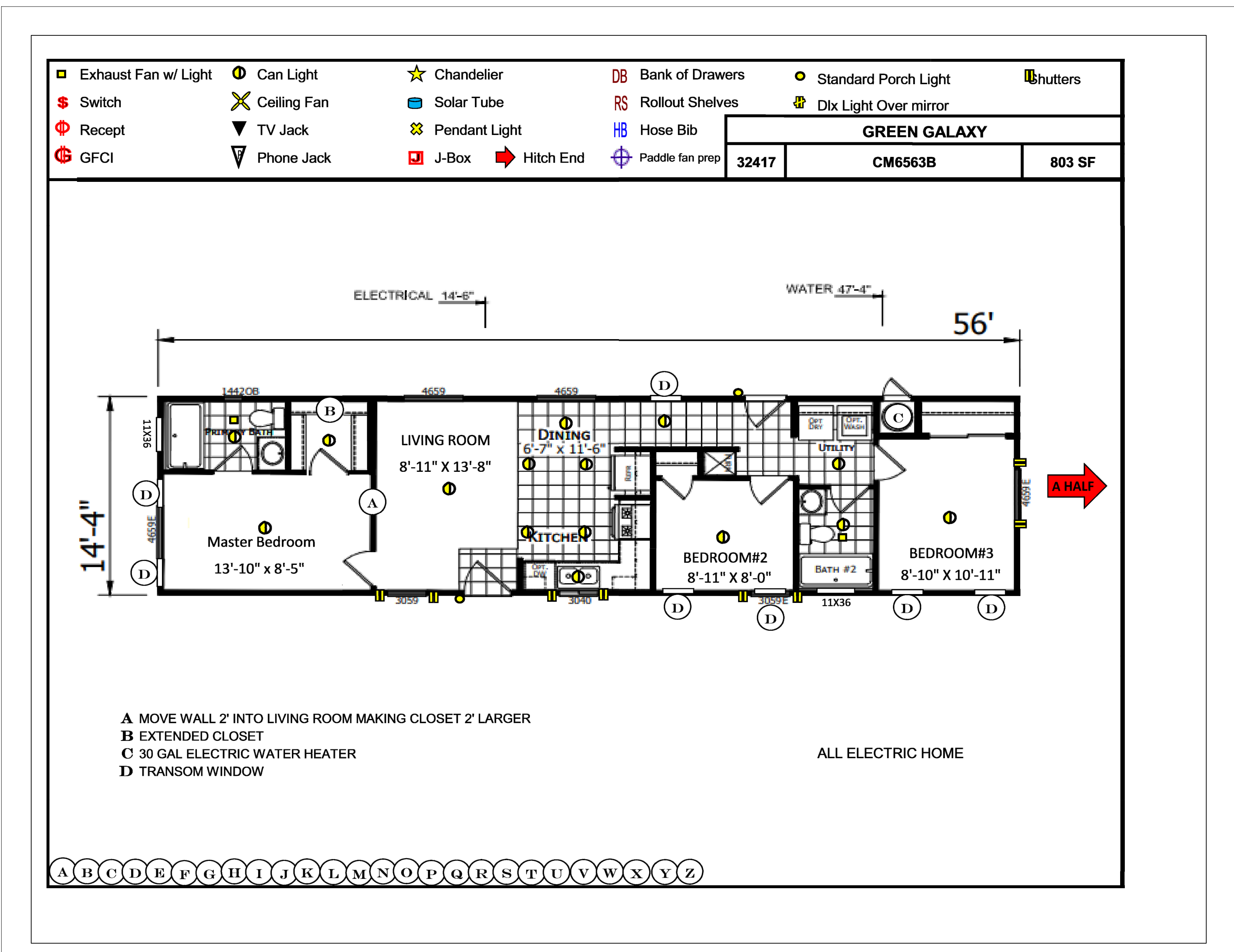


- A 6DOOR LINEN CAB
- B 30 GAL ELECTRIC WATER HEATER
- C TRANSOM WINDOW
- D FRENCH DOORS ILO 36" INSWING RELOCATED HERE
- E PREP FOR STACKABLE W/D ELECTIRC*

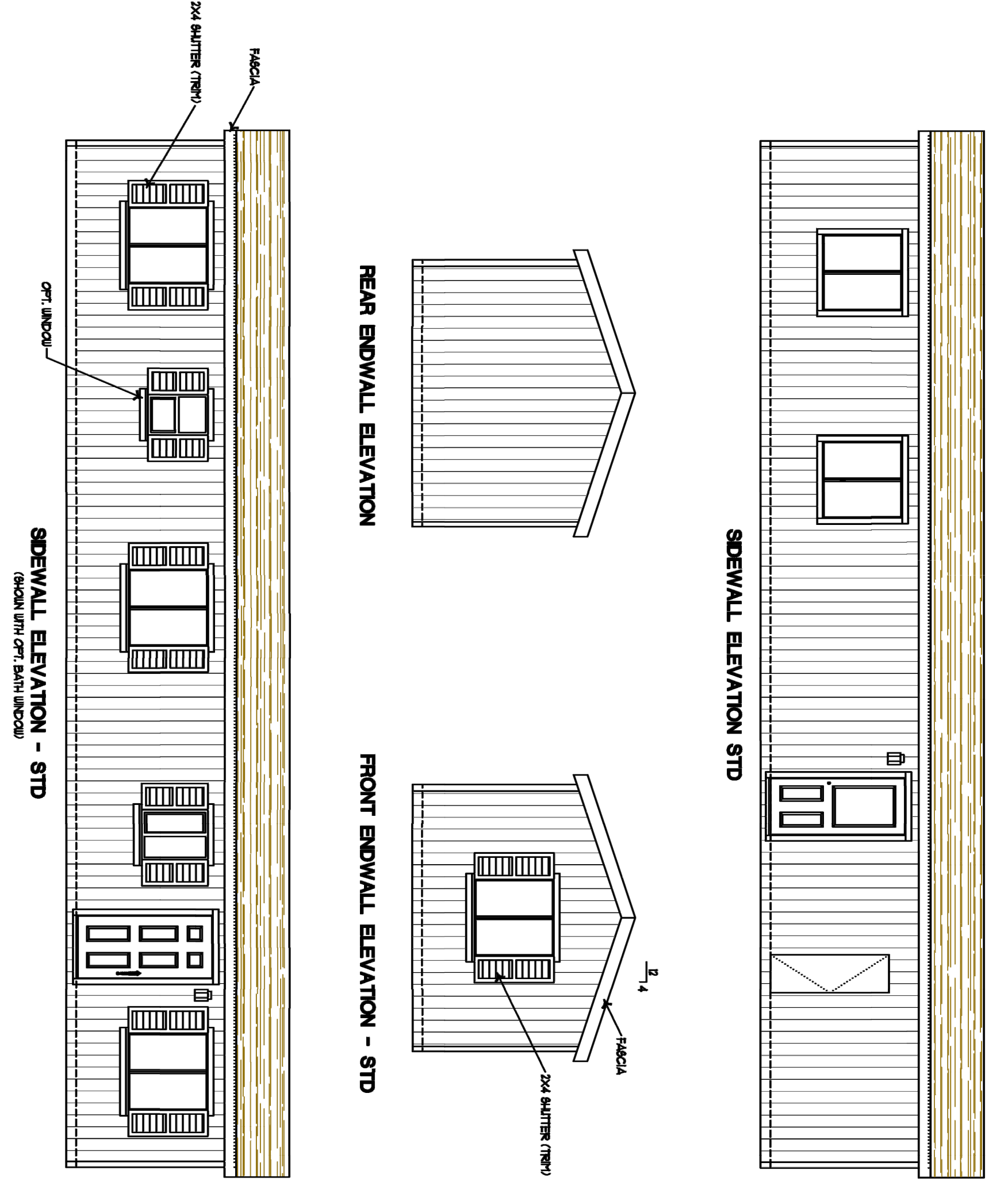
ALL ELECTRIC HOME

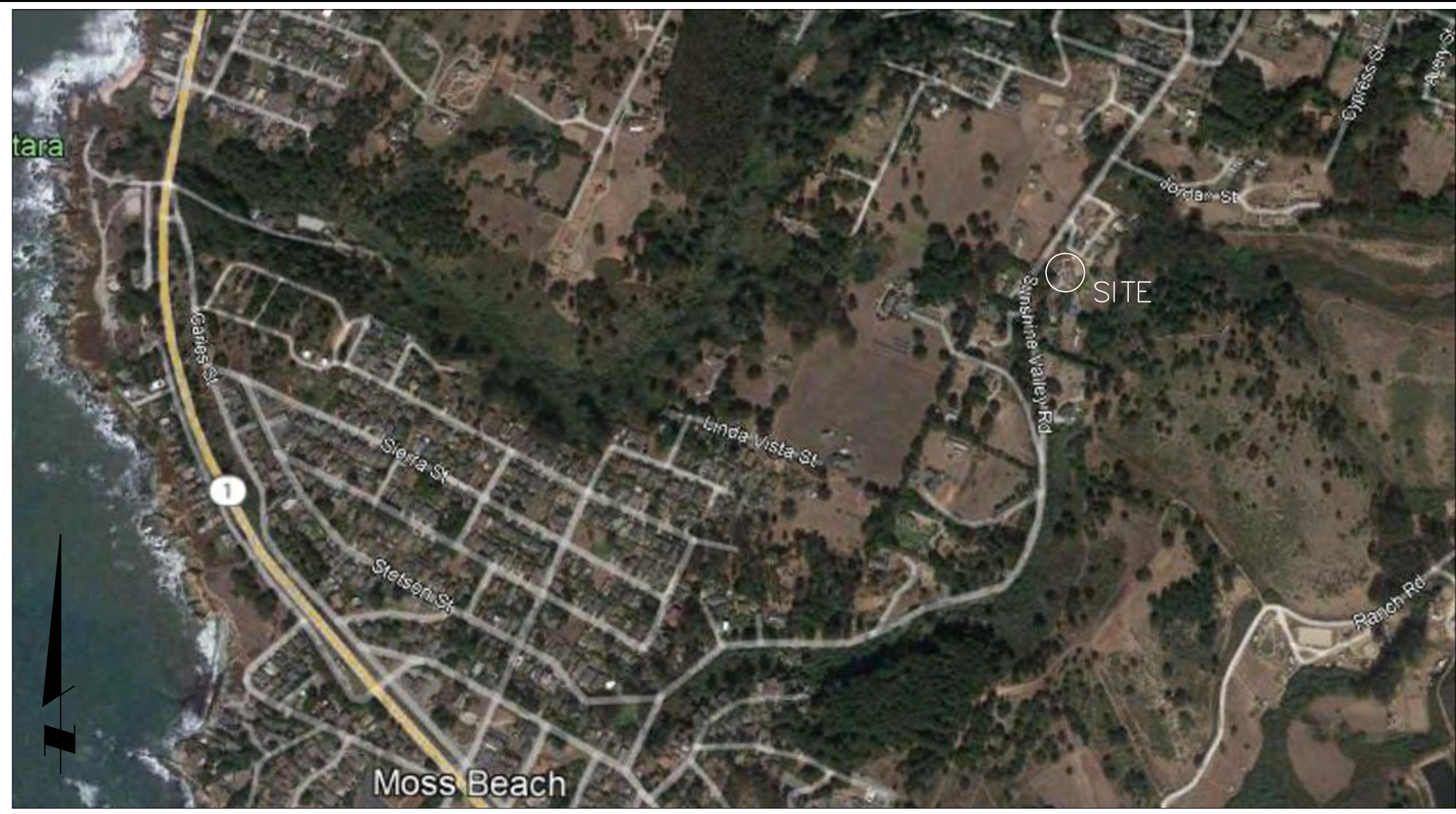
A B C D E F G H I J K L M N O P Q R S T U V W X Y Z

3 - Bedroom Unit



1 - Bedroom Unit





LOCATION MAP (Not to Scale)

PROJECT DESCRIPTION

1. Installation of new septic system for Farm Worker Housing (FWH) Units.
2. A percolation test was performed on October 5, 2005 by Langley Hill Quarry.
3. Results show an "A" Percolation Rate.
4. OWTS design is for two FWH units one 3 bedroom, the other 1 bedroom. 180 linear feet of drain-field will be necessary for Primary and Expansion Fields with a 1,500 gallon septic tank. 2 leach fields are required, two fields "A" and "B" will be installed as the Primary leach fields. Two fields "C" and "D" are shown on the plan as Expansion leach fields. This area must be protected and land in this area dedicated for future use when necessary.
5. A 45' emergency leach field "E" will be installed in case of extended periods of power outage.

SCOPE OF WORK

1. Install new 1,500 gallon Don Chapin Pre-Cast septic tank or equivalent and ejector pump system as shown.
2. Install new primary leach trenches and overflow trench.
3. Install a new flow diversion valve and effluent filter (NSF/ANSI 46).
4. Connect new septic and ejector pump tank to diversion valve and valve to tight lines and leach trenches as shown.
5. Connect new sewer laterals to inlet of new tank.

All material and methods shall comply with San Mateo County Environmental Health regulations, San Mateo County Building codes, and 2019 CBC. All work must be inspected and approved before back-filling.

P1 PERCOLATION TEST LOCATIONS

Langley Hill Quarry
 Ph: 650-851-0129 • Septic Systems Installed & Repaired • Lic. No. A702033
 SMC Certified Installer No. 0501
 Tested By: KEVIN VAUGHN - Soil Percolation Tester # 05002
 Observed in Field By: *Kevin Vaughn* Date: 07-5-05

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
8:30	FINISH	5 1/2"	5 1/2"	7 1/2"	5 1/2"	4 1/2"	5 1/2"
18:00	START	9"	1 1/2"	4"	1 1/2"	4"	4"
	DIFF	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"
9:00	FINISH	2 1/2"	7 1/2"	10 1/2"	7 1/2"	5 1/2"	5 1/2"
28:30	START	5 1/2"	5 1/2"	7 1/2"	5 1/2"	4 1/2"	5 1/2"
	DIFF	1 1/2"	1 1/2"	3 1/2"	1 1/2"	1 1/2"	1 1/2"
9:30	FINISH	7 1/2"	8 1/2"	11 1/2"	8 1/2"	6"	6 1/2"
39:00	START	6"	7 1/2"	10 1/2"	7 1/2"	5 1/2"	5 1/2"
	DIFF	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
10:00	FINISH	8"	9 1/2"	12 1/2"	9 1/2"	7 1/2"	8 1/2"
49:30	START	7 1/2"	8 1/2"	11 1/2"	8 1/2"	6 1/2"	7 1/2"
	DIFF	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
10:30	FINISH	1 1/2"	1 1/2"	2 1/2"	1 1/2"	1 1/2"	3 1/2"
59:00	START	6 1/2"	6 1/2"	8 1/2"	6 1/2"	5"	5"
	DIFF	1 1/2"	1 1/2"	3 1/2"	1 1/2"	1 1/2"	1 1/2"
11:00	FINISH	6 1/2"	6 1/2"	8 1/2"	5 1/2"	5 1/2"	5 1/2"
69:30	START	5"	5"	5"	5"	5"	5"
	DIFF	1 1/2"	1 1/2"	3"	1/2"	1/2"	1/2"
11:30	FINISH	6 1/2"	6 1/2"	7 1/2"	5 1/2"	5 1/2"	5 1/2"
79:00	START	5"	5"	5"	5"	5"	5"
	DIFF	1 1/2"	1 1/2"	2 1/2"	1 1/2"	1 1/2"	1 1/2"
12:00	FINISH	6 1/2"	6 1/2"	7 1/2"	5 1/2"	5 1/2"	5 1/2"
89:30	START	5"	5"	5"	5"	5"	5"
	DIFF	1 1/2"	1 1/2"	2 1/2"	1 1/2"	1 1/2"	1 1/2"
9	FINISH						
	START						
	DIFF						
10	FINISH						
	START						
	DIFF						

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0129
 OWNERS NAME: _____ APN: 037-063-080
 ADDRESS: 1591 Sunshine Valley Rd, Moss Beach, CA 94059
 SIZE OF PARCEL: _____ WATER SOURCE: ? SUBDIVISION: _____
 WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER: 11' DRY
 SOIL LOG: Black loamy top soil and decomposed granite
 The 11' hole has very sandy soil from 7' rock down

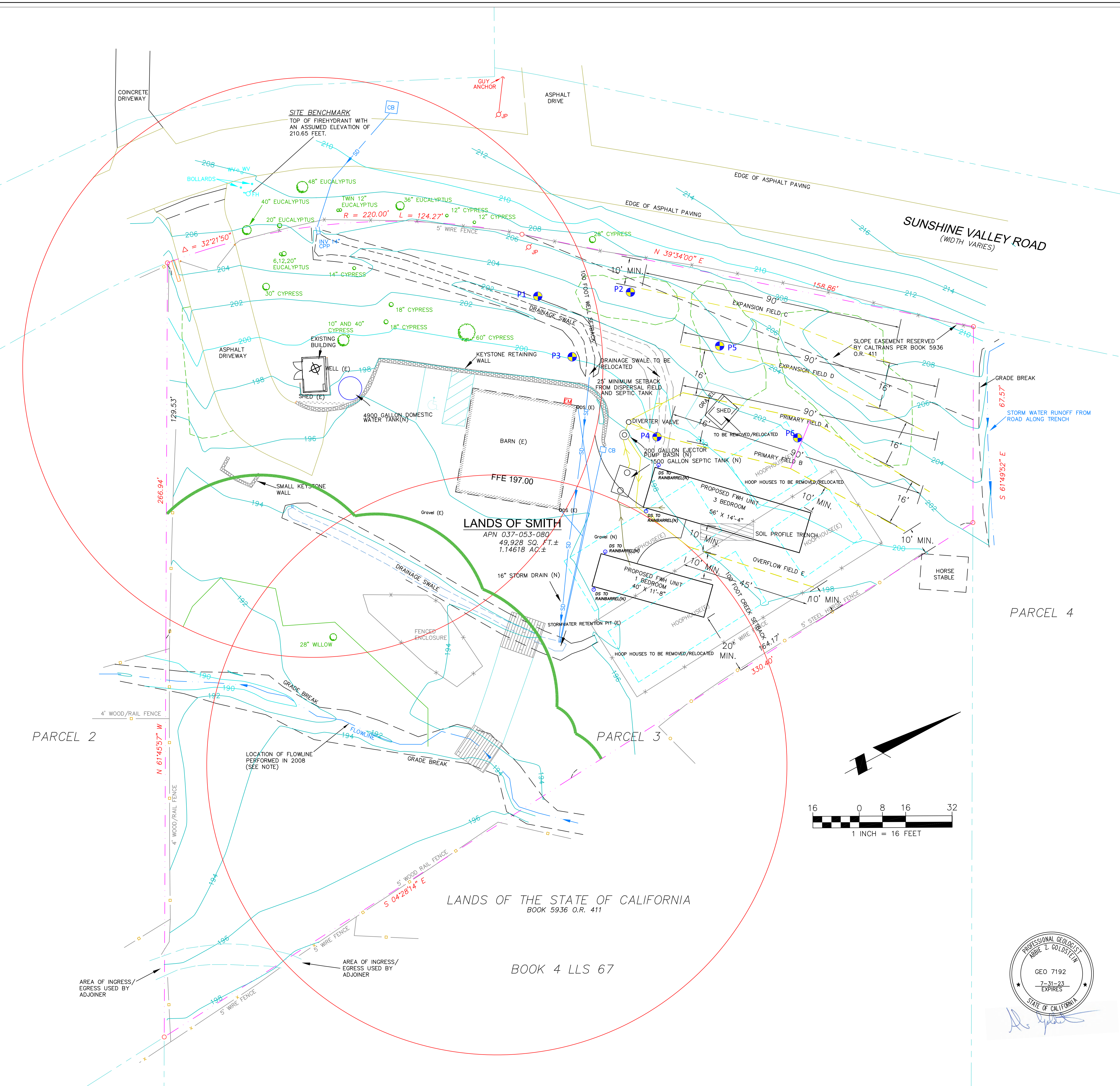
FARM WORKER HOUSING SEPTIC SYSTEM PLAN

SHEET OWTS-1

SMITH PROPERTY
 1585 SUNSHINE VALLEY ROAD
 MOSS BEACH, CALIFORNIA
 APN: 037-053-080

DATE: 2-16-2022
 DRAWN BY: AZG
 CHECKED BY: CMK
 REV. DATE: 6-29-22
 REV. DATE: _____

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 (650) 728-2626 (BAT), CA 94019
 sigmaprim@gmail.com





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



April 4, 2022

Therese Ambrosi Smith
Highway 92 Succulents

RE: 1515 Sunshine Valley Road , Moss Beach, San Mateo County, CA (APN: 037-053-080)

Ms Smith,

This letter is intended to provide you with a summary of an updated site visit at your 1515 Sunshine Valley Road property (Attachment 1). It is WRA's understanding that the County of San Mateo requested an updated biological assessment for the property with regards to a newly proposed farm worker housing project. Please find the following and let me know if you have any questions or comments.

UPDATED SITE VISIT

A WRA biologist visited the subject property on March 30, 2022 to review existing conditions, with a particular focus on willow riparian area and an intermittent stream that was mapped on December 7, 2016 and reported by our office in a letter addressed to you, Therese Ambrosi Smith, on September 22, 2017. (A previous site visit was conducted by our office on December 31, 2009, followed by a letter addressed to John Kowtko on January 8, 2010). The riparian area and intermittent stream were again mapped with a sub-meter GPS unit on March 30, 2022. Likewise, general conditions of the site were evaluated to determine if substantive changes have occurred in the intervening years (i.e., 2016 and 2022) that would change the 2017 assessment for sensitive biological resources to occur on-site.

RESULTS

Subsequent from the 2016 site visit, there have been permitted improvements to the property (barn, garden beds, hoop houses). Several Monterey cypress (*Hesperocyparis macrocarpa*), Monterey pine (*Pinus radiata*), and blue gum (*Eucalyptus globulus*) were removed that fronted on Sunshine Valley Road. The intermittent stream course is unchanged from 2016, and the willow riparian canopy is virtually unchanged (Attachment 2). The property continues to lack essential habitat characteristics to potentially support special-status species. Birds considered under the Migratory Bird Treaty Act (MBTA) and California Fish and Game Code (CFGF) have the potential to nest in the site's remaining trees, as well as the willow riparian.

RECOMMENDATIONS

The intermittent drainage and adjoining riparian habitat are considered Sensitive Habitats in the LCP and buffer zones are required. The LCP requires thirty foot buffers be established from the edge of riparian vegetation along intermittent streams and 30 foot buffers from the centerline of intermittent streams where no riparian vegetation is present. Uses within these buffer areas are restricted.

The trees and shrubs that are present in the property may provide habitat for breeding birds which are protected under the MBTA and CFGC. To avoid potential impacts to breeding birds, it is recommended that any tree or shrub removal be conducted between September 1 and February 15, outside of the breeding season for birds (at this time, it is our understanding that no such removal is scheduled or required for this project). If it is not possible to conduct vegetation removal during this time period, pre-construction breeding bird surveys would be necessary to avoid potential impacts to breeding birds. If breeding birds protected by the MBTA and CFGC are observed during pre-construction surveys, no vegetation removal should occur within a 50-foot buffer surrounding the occupied nest. Buffers surrounding nesting birds may be larger or smaller as determined by a qualified biologist based on the location of the nest and species of bird.

It is WRA's understanding that you are proposing to develop two farm worker housing units in the northern portion of the property. In review of the design plans, if all of the abovementioned elements are located outside of the 30-foot buffer and installation conforms with the MBTA and CFGC noted above (i.e., no major vegetation removal February 1 through August 31), this project will not create impacts to sensitive natural resources located or potentially located on the property.

This letter reports the conditions observed on the property during the March 30, 2022 site visit. This memo is based on the data and information available at the time of the survey. A biological assessment is a general review of the site conditions; protocol-level surveys required to determine the definitive presence or absence of any sensitive species were not performed; however, based on habitat conditions observed during the assessment site visit, no protocol-level surveys are recommended.

If you have any questions or comments, please feel free to contact me. Sincerely,

A handwritten signature in black ink, appearing to read 'Aaron Arthur', written in a cursive style.

Aaron Arthur
Senior Biologist
WRA, Inc.
arthur@wra-ca.com

Attachments: Figures

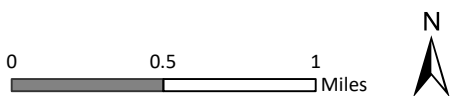


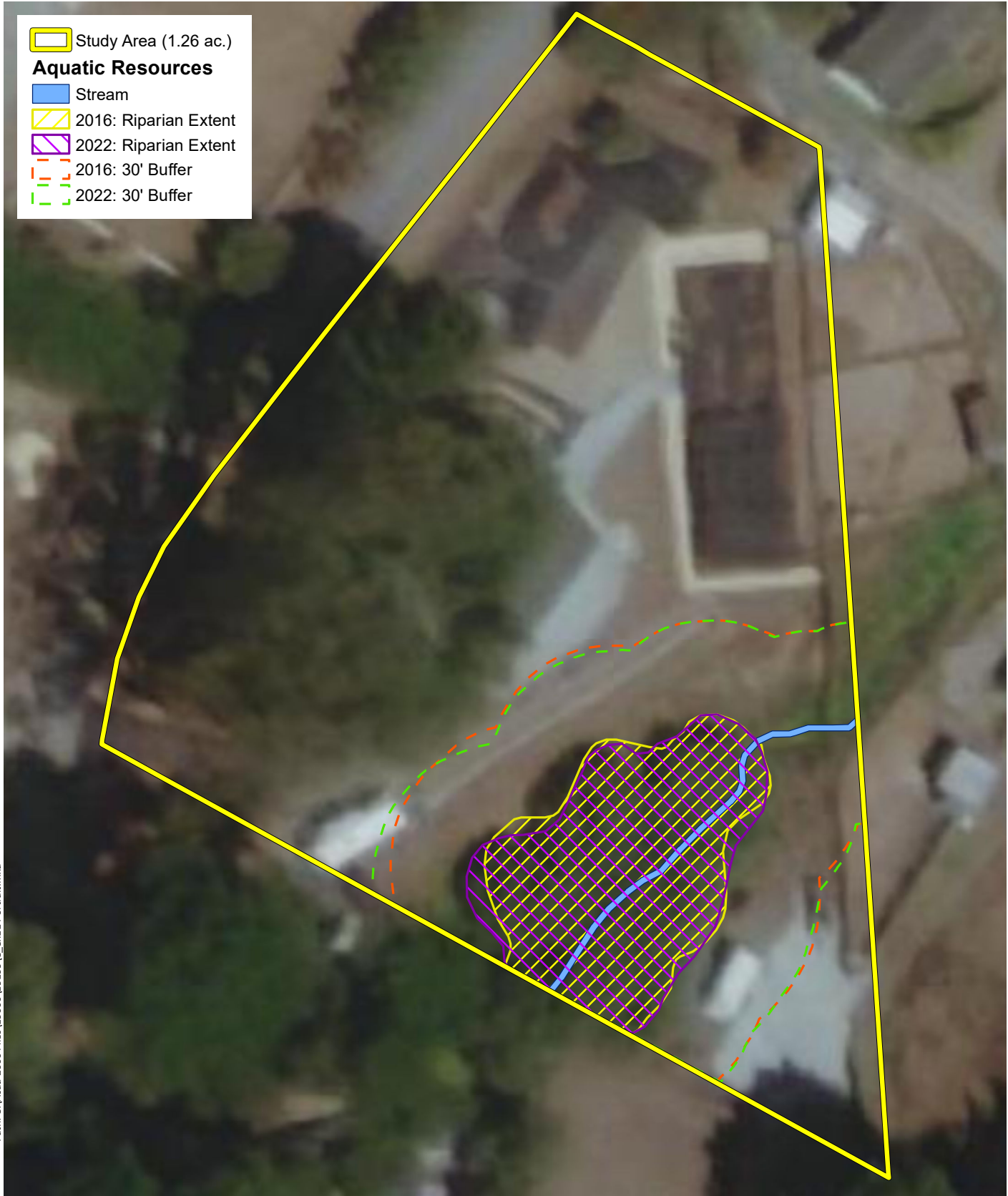
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Sources: National Geographic, WRA | Prepared By: aarthur, 4/4/2022

Attachment 1. Property Location

1515 Sunshine Valley Road
 San Mateo County, CA





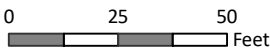
- Study Area (1.26 ac.)
- Aquatic Resources**
- Stream
- 2016: Riparian Extent
- 2022: Riparian Extent
- 2016: 30' Buffer
- 2022: 30' Buffer

Path: C:\Acad 2000 Files\19000\19199\8_5x11 Portrait.mxd

Sources: DigitalGlobe 2016 Aerial, WRA | Prepared By: aarthur, 4/4/2022

Attachment 2. Willow Riparian Extent

1515 Sunshine Valley Road
San Mateo County, CA





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D



P.O. Box 3593
Half Moon Bay, CA 94019
September 22, 2022

To the Chair and members of the Agricultural Advisory Committee:

The success of Highway 92 Succulents - and any agricultural business - depends on capable and committed people. They deserve the best possible quality of life as they contribute to San Mateo County agriculture.

Highway 92 Succulents has been in business since May 2013, and has enjoyed steady growth serving the home gardener. We grow and promote the use of drought tolerant and fire resistant landscaping.

In late 2020, I became aware that a key staff member was moving from ranch to ranch as he housed his family of four in a camper intended for recreational use. His most recent eviction meant that he had to move to an RV park, for \$60.00 per night. That expense, coupled with the \$500 per month payment on the camper, resulted in a housing (camping) expense of \$2300 per month. Even when space is available, County Ordinance limits the length of time one can live in a recreational vehicle.

Nothing was available at Moon Ridge or Main Street Park. The waiting lists are closed.

Purchasing a mobile home - even a "park" model (under 400 sqft) was out of the question. The units are financed as "chattel" and carry a very high interest rate. In addition, there is a monthly fee for space rental.

I had purchased land for the business in Moss Beach in 2017. In 2019, I built the storage barn, so water and power are available on site. I contacted the County to explore the possibility of moving the camper there with the installation of a septic system. In a conversation with staff, I learned about the pilot farm worker housing program. My contract with the County to provide two units of very low income housing, was approved by the Board of Supervisors in February.

Working with Caltrans, I was able to remove an old slope easement from the site - a relic of the old Highway 1/Montara bypass alignment. The easement vacation was approved by the California Transportation Commission last month, clearing a hurdle for trailer placement on the property.

I hope you will review this project and refer it to the Zoning Administrator with a recommendation for approval. It will be life changing for the workers, and create a stability in staffing for a growing nursery business.

Respectfully,

Therese Smith
Highway 92 Succulents, Inc.