

REAR ELEVATION - NORTH SIDE

SCALE: 1/4"=1'-0"

ELEVATION NOTES:

ALL FASCIA'S & BARGEES TO BE 2x6 RESAWN UNLESS NOTED OTHERWISE
 ALL EXPOSED WOOD TO BE REIS (UNO)
 ALL SOFFITS AT THE EAVE AND BARGE OVERHANGS TO BE LAPPED SIDING TO BE HARDIFLANK SIDING BY JAMES HARDIE BUILDING PRODUCTS OR EQUAL OVER A MIN. 1-LAYER OF 1/4" BUILDING PAPER OVER 5/8" TYPE 'X' SHEETROCK.
 LISTING NUMBERS: 8140-2026-0002
 CATEGORY: 0140-EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (WUI)
 ICC-ES REPORT - ESR-2290
 NFPA-281 FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS
 SHINGLE SIDING TO BE HARDISHINGLE SIDING BY JAMES HARDIE BUILDING PRODUCTS OR EQUAL OVER A MIN. 1-LAYER OF 1/4" BUILDING PAPER OVER 5/8" TYPE 'X' SHEETROCK.
 LISTING NUMBERS: 8140-2026-0004
 CATEGORY: 0140-EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (WUI)
 ICC-ES REPORT - ESR-2290
 NFPA-281 FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS

ALL EXTERIOR CEILING TO BE HARDI-SOFFIT BY JAMES HARDIE ESR-2273
 ALL TYP. STUCCO TO BE A 3-COAT SYSTEM W/ A LIGHT LACE FINISH
 DOWNSPUT ATTACHMENTS AND OTHER INCIDENTAL FIXTURES THAT PENETRATE THE EXTERIOR WALL MEMBRANE SHALL HAVE ALL HOLES PERDRILLED AND FILLED WITH SEALANT PRIOR TO DRIVING FASTENERS.
 SEE MATERIAL AND COLOR SCHEDULE FOR PAINT AND COLORS
 TRIM APPLIED OVER STUCCO TO BE FOAM W/ STUCCO FINISH COAT OVER UNLESS NOTED OTHERWISE
 ALL TRIM OVER SIDING TO BE REIS WOOD TRIM (UNO)
 A WATER-RESISTIVE BARRIER SHALL BE INSTALLED BETWEEN WOOD-BASED SHEATHING & STUCCO WITH A PERFORMANCE EQUIVALENT TO AT LEAST 2 LAYERS OF GRADE 'D' PAPER CGC 25106
 SEE T-24 SHEETS FOR WINDOW REQUIREMENTS
 ALL ROOF COVERINGS TO BE A CLASS 'A' RATINGS

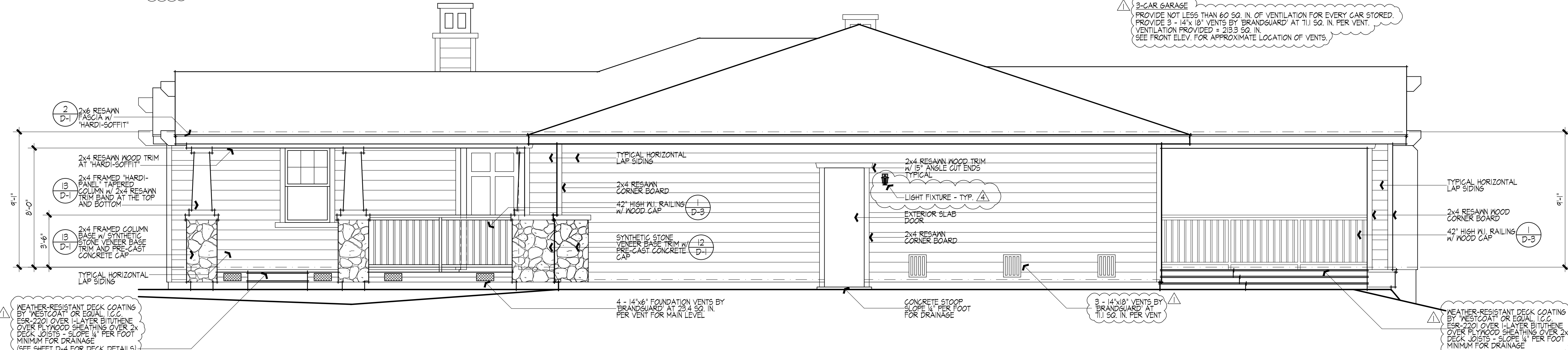
PROVIDE 'MOISTOP' FLASHING AROUND ALL EXTERIOR WALL OPENINGS AND PENETRATIONS.
 BUILDING ENVELOPE PENETRATIONS SHOULD BE SEALED WITH QUICKFLASH PANELS OR OTHER SIMILAR PRODUCT, PRE-MANUFACTURED FLASHING IN LIEU OF FIELD-FABRICATED SHEET METAL FLASHING AND SEALANT AT ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS. NOTE THAT PRE-MANUFACTURED FLASHING PANELS DO NOT PRECLUDE RODENT-PROOFING AS DEFINED IN G.C.C. R0223.41.
 ALL STONE VENEER TO BE BY 'CORONADO' OR EQ. LEDGESTONE SERIES / OLD WORLD LEDGE
 ICC THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. REPORT ESR-2548

WEATHER-RESISTANT DECK COATING BY WESTCOAT OR EQUAL ICC ESR-2201 OVER 1-LAYER BUTIENE OVER PLYWOOD SHEATHING OVER 2x DECK JOISTS - SLOPE 1/4" PER FOOT MINIMUM FOR DRAINAGE (SEE SHEET D-4 FOR DECK DETAILS).

MAIN LEVEL UNDERFLOOR AREA = 1078 SQ. FT.
 PROVIDE 4 - 14" x 6" FOUNDATION VENTS BY 'BRANDGUARD' AT 25.4 SQ. IN. PER VENT
 PROVIDE 3 - 14" x 12" FOUNDATION VENTS BY 'BRANDGUARD' AT 45.3 SQ. IN. PER VENT
 PROVIDE 12 - 12" x 18" FOUNDATION VENTS BY 'BRANDGUARD' AT 71.1 SQ. IN. PER VENT
 PROVIDE 1.50 FT. OF VENTILATION FOR EVERY 150 SQ. FT. OF FLOOR AREA
 VENTILATION PROVIDED = 1092.7 SQ. IN.
 REQUIRED UNDER FLOOR VENTILATION = 1078 SQ. IN.
 SEE ELEVATIONS FOR APPROXIMATE LOCATION OF VENTS.
 LOWER LEVEL UNDERFLOOR AREA = 1166 SQ. FT.
 PROVIDE 6 - 14" x 12" FOUNDATION VENTS BY 'BRANDGUARD' AT 45.3 SQ. IN. PER VENT
 PROVIDE 20 - 14" x 18" FOUNDATION VENTS BY 'BRANDGUARD' AT 71.1 SQ. IN. PER VENT
 PROVIDE 1.50 FT. OF VENTILATION FOR EVERY 150 SQ. FT. OF FLOOR AREA
 VENTILATION PROVIDED = 1643.8 SQ. IN.
 REQUIRED UNDER FLOOR VENTILATION = 1666 SQ. IN.
 SEE ELEVATIONS FOR APPROXIMATE LOCATION OF VENTS.
 3-CAR GARAGE
 PROVIDE NOT LESS THAN 60 SQ. IN. OF VENTILATION FOR EVERY CAR STORED.
 PROVIDE 3 - 14" x 18" VENTS BY 'BRANDGUARD' AT 71.1 SQ. IN. PER VENT
 VENTILATION PROVIDED = 213.3 SQ. IN.
 SEE FRONT ELEV. FOR APPROXIMATE LOCATION OF VENTS.

VERY HIGH FIRE SEVERITY ZONE NOTES:

- DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE CGC 105A.41
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CGC 105A.3
- ALL VENT OPENINGS (ATTIC UNDERFLOOR COMBUSTION AIR, ETC.) ARE TO BE PROTECTED BY NON-COMBUSTIBLE CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS:
 INDIVIDUAL VENT OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES
 THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16-INCH INCH AND SHALL NOT EXCEED 1/8-INCH
- CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. CGC 105A.1
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDA 101/5.2 STRUCTURAL REQUIREMENTS. CGC 105A.2.1
- EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING:
 BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF CGC SECTION 2406 FOR SAFETY GLAZING.
 HAVE A FIRE-RESISTANCE RATINGS OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 251.
 BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-TA-2
- EXTERIOR DOOR SHALL COMPLY WITH ONE OF THE FOLLOWING:
 THE EXTERIOR SURFACE OR GLAZING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
 HAVE A MINIMUM 20-MINUTE FIRE-RESISTANCE RATING.
 TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-TA-1.
 CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS:
 STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8 INCHES THICK
 RAISED PANELS SHALL NOT BE LESS THAN 1/4 INCHES THICK, THE EXTERIOR PERIMETER OF THE RAISED PANEL MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK.
- CONSTRUCTION OF WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL COMPLY WITH ONE OF THE FOLLOWING:
 IGNITION RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-TA-4, AND SFM STANDARD 12-TA-5
 EXTERIOR FIRE TREATED WOOD.
 NON-COMBUSTIBLE MATERIAL.
 ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-TA-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.



FRONT ELEVATION - SOUTH SIDE

SCALE: 1/4"=1'-0"

WEATHER-RESISTANT DECK COATING BY WESTCOAT OR EQUAL ICC ESR-2201 OVER 1-LAYER BUTIENE OVER PLYWOOD SHEATHING OVER 2x DECK JOISTS - SLOPE 1/4" PER FOOT MINIMUM FOR DRAINAGE (SEE SHEET D-4 FOR DECK DETAILS).

4 - 14" x 6" FOUNDATION VENTS BY 'BRANDGUARD' AT 25.4 SQ. IN. PER VENT FOR MAIN LEVEL

CONCRETE STOOP SLOPE 1/4" PER FOOT FOR DRAINAGE

3 - 14" x 18" VENTS BY 'BRANDGUARD' AT 71.1 SQ. IN. PER VENT

WEATHER-RESISTANT DECK COATING BY WESTCOAT OR EQUAL ICC ESR-2201 OVER 1-LAYER BUTIENE OVER PLYWOOD SHEATHING OVER 2x DECK JOISTS - SLOPE 1/4" PER FOOT MINIMUM FOR DRAINAGE (SEE SHEET D-4 FOR DECK DETAILS).

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LOT No. 9
EXTERIOR ELEVATIONS

REVISIONS
 JAN 6, 2017 P.C. 1
 MAR 2, 2017 P.C. 2
 JUNE 11TH PLANNING C. 3
 NOV. 15, 2017 PLANNING

LICENSED ARCHITECT
 MARK G. GROSS
 No. 8-301
 STATE OF CALIFORNIA

ALL DIMENSIONS & CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.

DESIGNED BY
 DRAWN BY
 CHECKED BY
 JOB NO. 4276
 DATE NOVEMBER 3, 2014
 SHEET NO.

8

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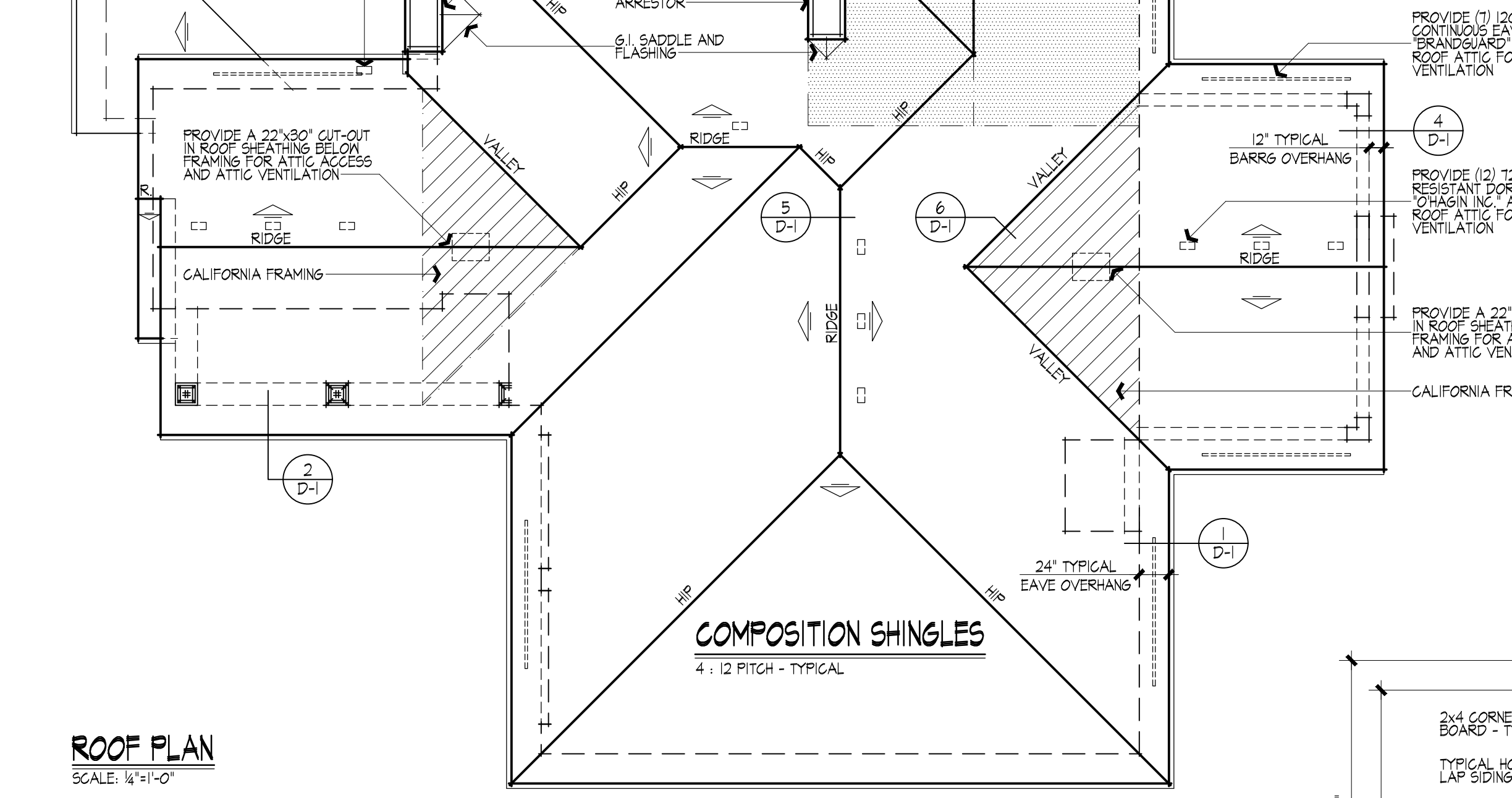
VERY HIGH FIRE SEVERITY ZONE NOTES:

- 1. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. (CBC 105A.4.)
2. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.014-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM G40 SHEET RUNNING THE FULL LENGTH OF THE VALLEY. (CBC 105A.3)
3. ALL VENT OPENINGS (ATTIC, UNDERDOOR, CONVECTION AIR, ETC.) ARE TO BE PROTECTED BY NON-COMBUSTIBLE, CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS:
INDIVIDUAL VENT OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES. THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH.

- 4. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. (CBC 11A.1.)
5. GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 101/15.2 STRUCTURAL REQUIREMENTS. (CBC 108A.2.1.)
6. EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING:
BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF CBC SECTION 2406 FOR SAFETY GLAZING.

- 7. EXTERIOR DOOR SHALL COMPLY WITH ONE OF THE FOLLOWING:
THE EXTERIOR SURFACE OR GLAZING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL HAVE A MINIMUM 20-MINUTE FIRE-RESISTANCE RATING WHEN TESTED ACCORDING TO NFPA 252.
TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-8A-1.
CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS:
STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8 INCHES THICK. RAISED PANELS SHALL NOT BE LESS THAN 1 1/4 INCHES THICK. THE EXTERIOR PERIMETER OF THE RAISED PANEL MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK.

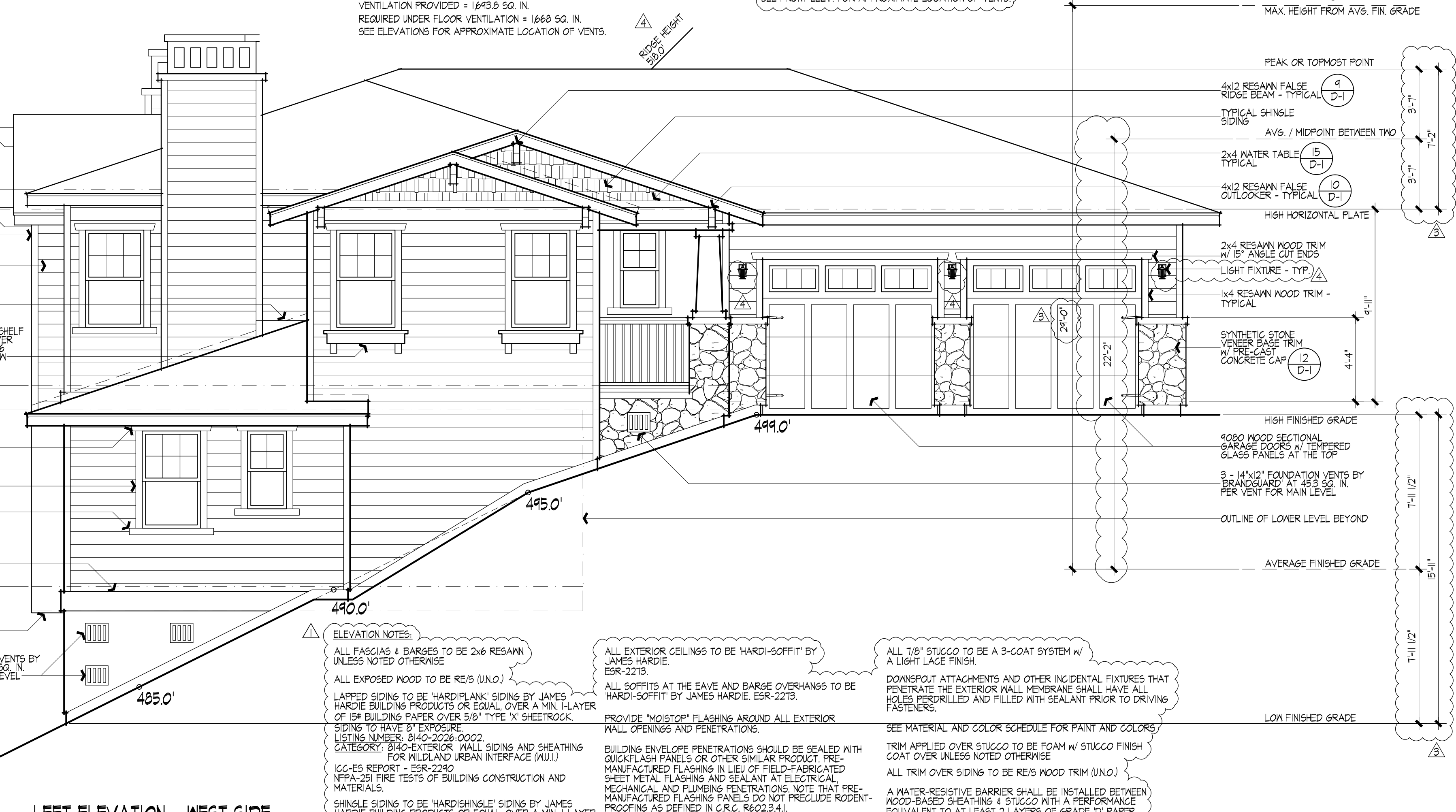
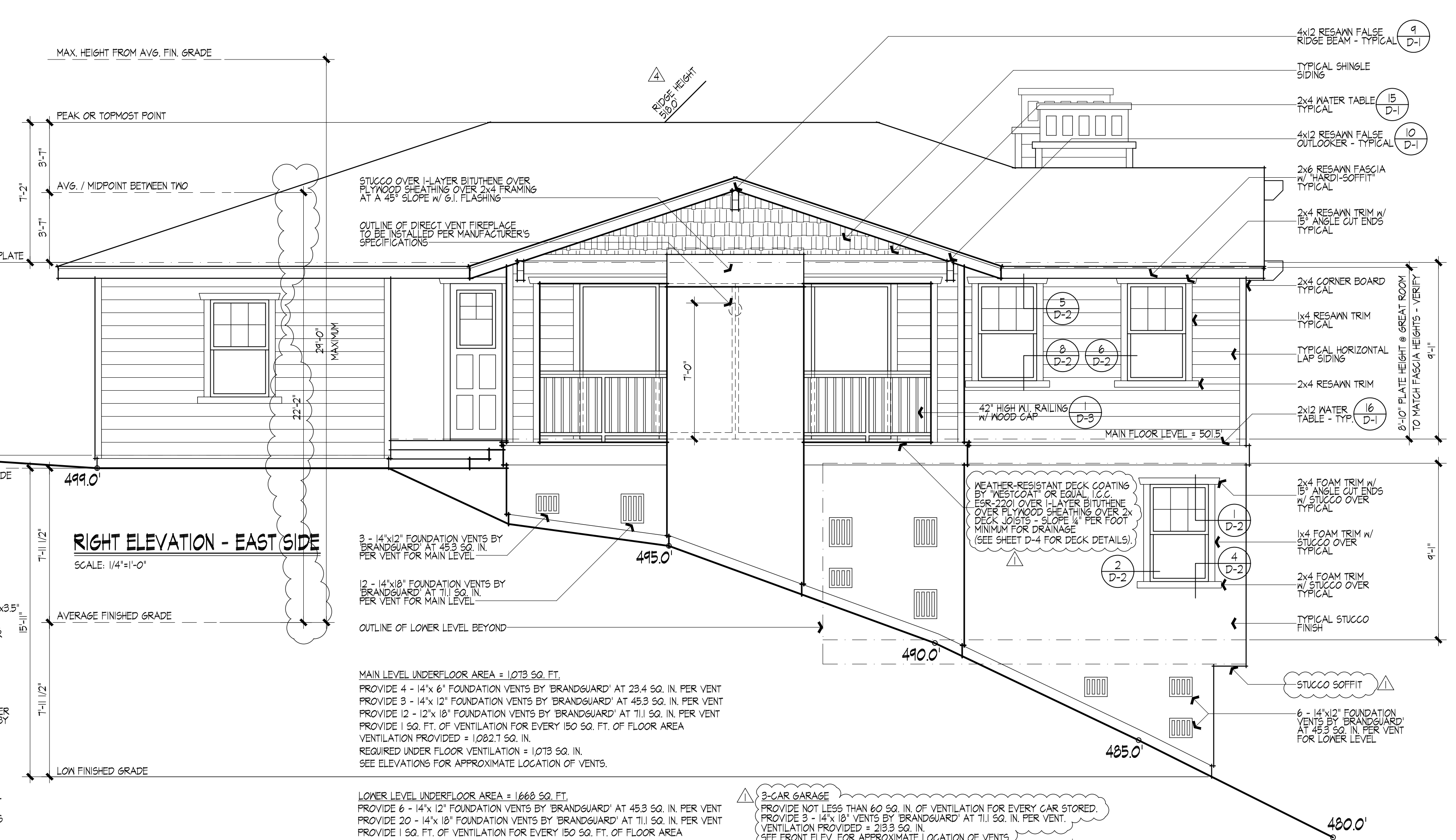
- 8. CONSTRUCTION OF WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL COMPLY WITH ONE OF THE FOLLOWING:
IGNITION RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4, AND SFM STANDARD 12-7A-5.
EXTERIOR FIRE TREATED WOOD.
NON-COMBUSTIBLE MATERIAL.
ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.



ROOF PLAN SCALE: 1/4"=1'-0"

Table with 2 columns: Description and Area/Quantity. Includes rows for Main Floor Attic, Master Bath Attic, and various roof vent types.

- ROOF NOTES:
1. REFER TO SHEET D-1 FOR COMPLETE ROOFING NOTES AND DETAILS.
2. ROOF SHEATHING TO BE SOLID. SEE STRUCTURAL ENGINEER'S SHEETS FOR SPECIFICATIONS.
3. COMPOSITION ROOF SHINGLE TO HAVE A CLASS 'A' RATING.
4. COMPOSITION SHINGLES INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS AND COMPLY WITH C.R.C. SECTION R905.2.
5. UNDERLAYMENT APPLICATION:
FOR ROOF SLOPES FROM 2:12 UP TO 4:12, UNDERLAYMENT SHALL BE 2 LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 18-INCH STRIP OF 30# FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE...
6. SHINGLE ATTACHMENT:
ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER BUT NOT LESS THAN 4 FASTENERS PER STRIP SHINGLE OR 2 FASTENERS PER INDIVIDUAL SHINGLE...
7. FASTENERS:
FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, ALUMINUM OR COPPER ROOFING NAILS...
8. THIS WILL BE A COOL ROOF APPLICATION BY 'CERTAINTED', MODEL 'PRESIDENTIAL SOLARIS'...
9. PROVIDE DIVERTERS AS REQUIRED.
10. ALL ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
11. PROVIDE A MINIMUM 22" x 30" ACCESS OPENINGS IN THE ROOF SHEATHING TO OVER FRAMED ATTIC AREAS...
12. RADIANT BARRIER IS NOT REQUIRED. SEE SHEET T-24.4.
13. A HEIGHT CERTIFICATION WILL BE REQUIRED PRIOR TO THE ROOF NAILING / FRAMING INSPECTION.
14. ROOF COVERINGS THAT CREATE A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECK SHALL HAVE ONE LAYER OF 12# MINERAL SURFACED GAP SHEET INSTALLED OVER THE COMBUSTIBLE ROOF DECK.
15. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDER FLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH...
A. THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
B. THE MATERIALS USED SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT.

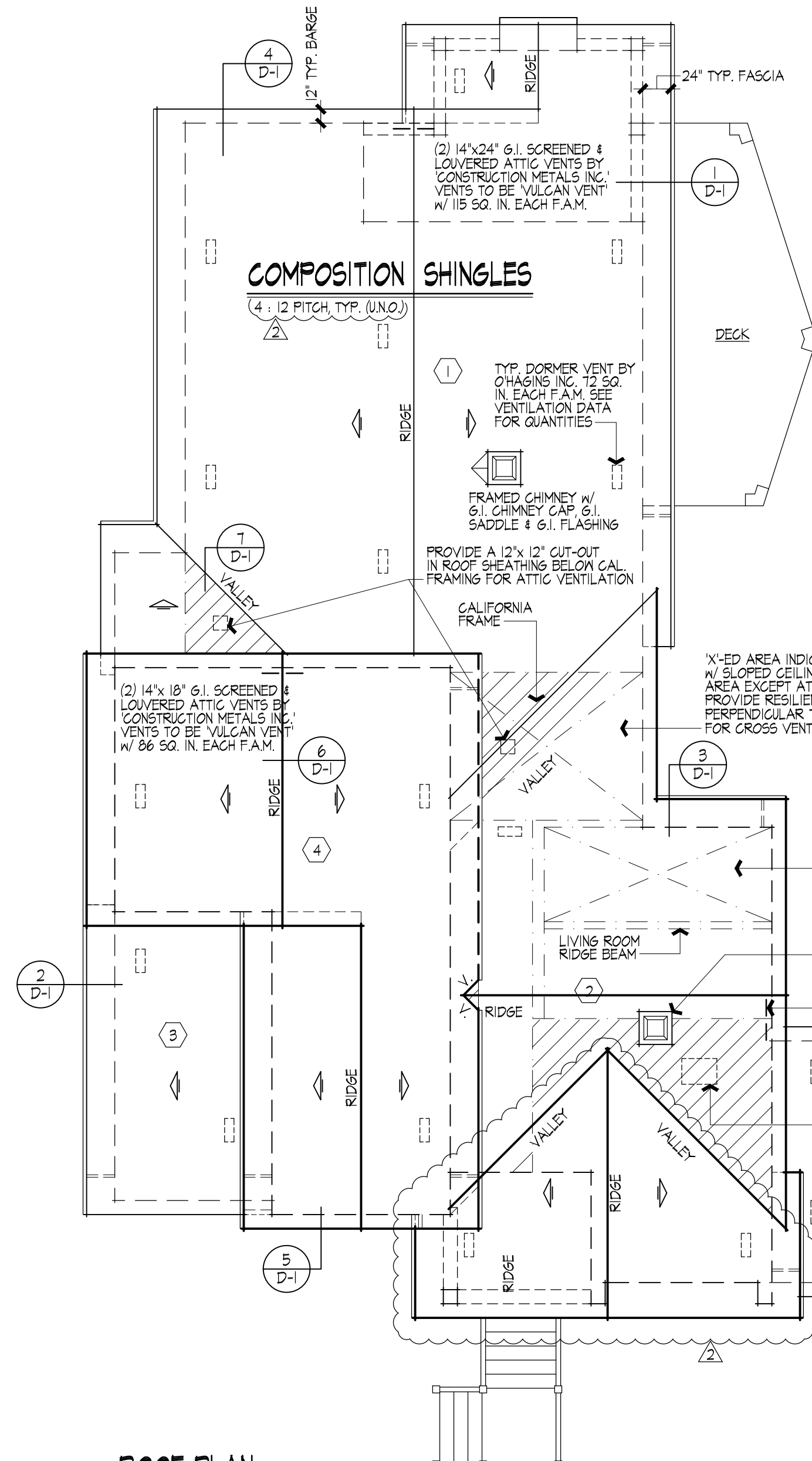


LEFT ELEVATION - WEST SIDE SCALE: 1/4"=1'-0"

Project information including 'HIGHLAND ESTATES, LOT 9', '2185 COBBLEHILL PLACE SAN MATEO COUNTY, CALIFORNIA', and 'THE CHAMBERLAIN GROUP'. Includes contact information for Mark Gross & Associates, Inc.

Revision table with columns for date, description, and initials. Includes a 'LICENSED ARCHITECT' seal for Mark Gross and a 'DESIGNED BY' section.

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ROOF PLAN
SCALE: 1/8" = 1'-0"

1	ROOF VENTILATION DATA: MAIN LEVEL ROOF	ROOF VENTILATION DATA: GARAGE ROOF
	1382 SQ. FT. ATTIC/300 = 4.64 SQ. FT. x 144 SQ. IN. = 664 SQ. IN. VENTILATION AREA REQUIRED.	228.50 FT. ATTIC/300 = 0.76 SQ. FT. x 144 SQ. IN. = 110 SQ. IN. VENTILATION AREA REQUIRED.
	TOTAL VENTILATION REQUIRED TO BE DIVIDED EQUALLY AMONG UPPER AND LOWER VENTILATION PER C.B.C. SECTION 1209.	TOTAL VENTILATION REQUIRED TO BE DIVIDED EQUALLY AMONG UPPER AND LOWER VENTILATION PER C.B.C. SECTION 1209.
	REQUIRED UPPER VENTILATION: 335 SQ. IN.	REQUIRED UPPER VENTILATION: 55 SQ. IN.
	PROVIDE	PROVIDE
	(2) EMBER-RESISTANT 14"x24" GABLE VENTS = 230 SQ. IN.	(1) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 72 SQ. IN.
	(15 SQ. IN. EACH BY CONSTRUCTION METALS INC. VENTS MUST BE 'VULCAN VENT' TYPE	
	(2) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 144 SQ. IN.	REQUIRED LOWER VENTILATION: 55 SQ. IN.
	TOTAL = 374 SQ. IN.	PROVIDE
	REQUIRED LOWER VENTILATION: 335 SQ. IN.	(1) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 72 SQ. IN.
	PROVIDE	
	(5) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 360 SQ. IN.	
	TOTAL = 734 SQ. IN.	
	REQUIRED UPPER VENTILATION: 155 SQ. IN.	
	PROVIDE	
	(2) EMBER-RESISTANT 14"x18" GABLE VENTS = 172 SQ. IN.	
	(86 SQ. IN. EACH BY CONSTRUCTION METALS INC. VENTS MUST BE 'VULCAN VENT' TYPE	
	REQUIRED LOWER VENTILATION: 155 SQ. IN.	
	PROVIDE	
	(3) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 216 SQ. IN.	
	TOTAL = 392 SQ. IN.	
	REQUIRED UPPER VENTILATION: 165 SQ. IN.	
	PROVIDE	
	(2) EMBER-RESISTANT 14"x18" GABLE VENTS = 172 SQ. IN.	
	(86 SQ. IN. EACH BY CONSTRUCTION METALS INC. VENTS MUST BE 'VULCAN VENT' TYPE	
	REQUIRED LOWER VENTILATION: 165 SQ. IN.	
	PROVIDE	
	(3) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 216 SQ. IN.	
	TOTAL = 388 SQ. IN.	
	REQUIRED UPPER VENTILATION: 193 SQ. IN.	
	PROVIDE	
	(2) EMBER-RESISTANT VENTS BY OHAGINS INC. T2 SQ. IN. EACH = 144 SQ. IN.	
	TOTAL = 337 SQ. IN.	

- NOTE:**
- FOR COMPLETE ROOFING DETAILS SEE SHEET D-1. INSTALLATION TO BE PER MANUFACTURER SPECIFICATIONS.
 - RADIANT FOIL BARRIER IS NOT REQUIRED. SEE SHEET T-241.
 - THE BUILDING IS IN A VERY HIGH FIRE HAZARD SEVERITY ZONE AND WILL REQUIRE A CLASS 'A' ROOF.
 - ROOF COVERINGS THAT CREATE A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECK SHALL HAVE ONE LAYER OF T28 MINERAL SURFACED CAP SHEET INSTALLED OVER THE COMBUSTIBLE ROOF DECK.
 - VENTILATION OPENINGS FOR ATTICS ENCLOSED EAVE SOFFITS, ENCLOSED RAFTER SPACES AND UNDER FLOOR AREAS SHALL BE NON-COMBUSTIBLE, CORROSION RESISTANT AND HAVE WIRE MESH WITH 1/16" TO 1/8" OPENINGS OR ITS EQUIVALENT.

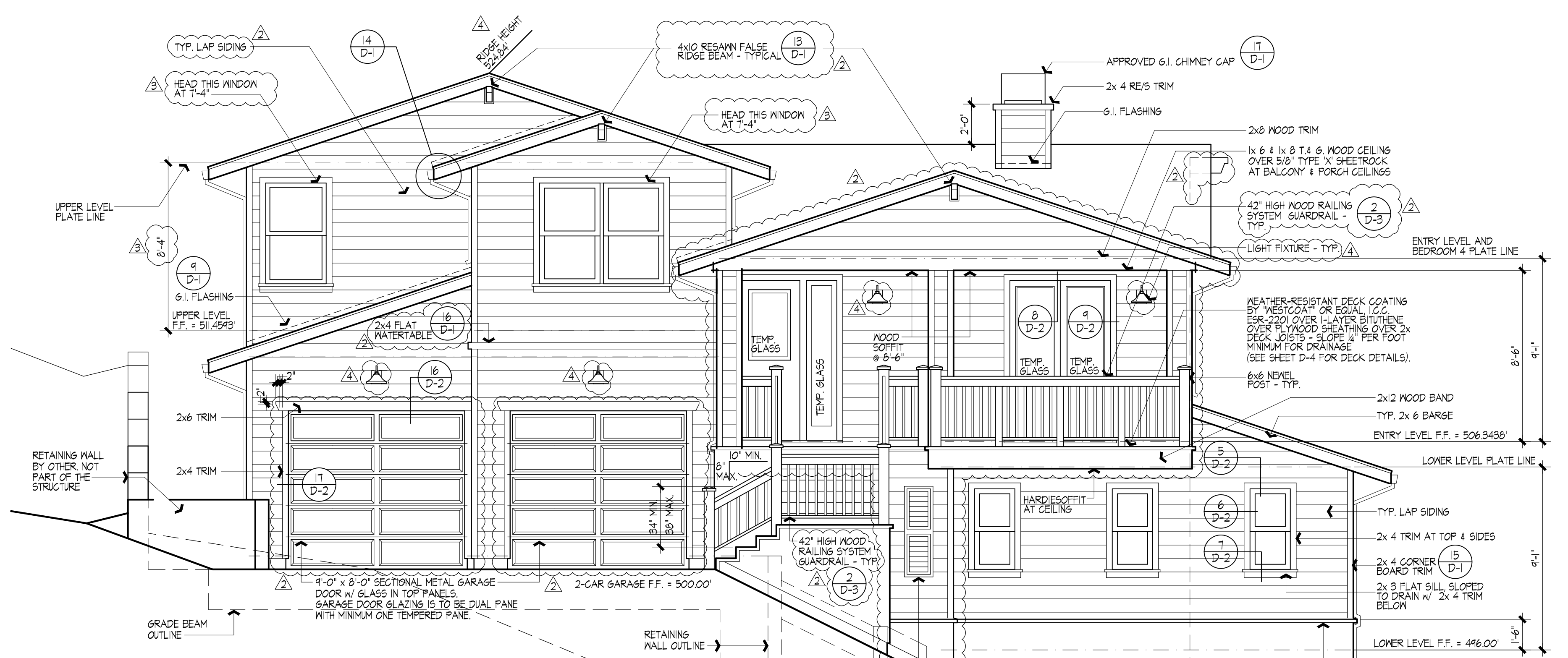
X'-ED AREA INDICATES RAFTER JOISTS W/ SLOPED CEILING NO ATTIC OVER THIS AREA EXCEPT AT CALIFORNIA FRAMING PROVIDE RESILIENT CHANNELS AT 24" O.C. PERPENDICULAR TO THE JOISTS TO ALLOW FOR CROSS VENTILATION

X'-ED AREA INDICATES RAFTER JOISTS W/ SLOPED CEILING NO ATTIC OVER THIS AREA EXCEPT AT CALIFORNIA FRAMING PROVIDE RESILIENT CHANNELS AT 24" O.C. PERPENDICULAR TO THE JOISTS TO ALLOW FOR CROSS VENTILATION

(2) 14"x18" 6/1 SCREENED & LOUVERED ATTIC VENTS BY CONSTRUCTION METALS INC. VENTS TO BE 'VULCAN VENT' W/ 15 SQ. IN. EACH F.A.M.

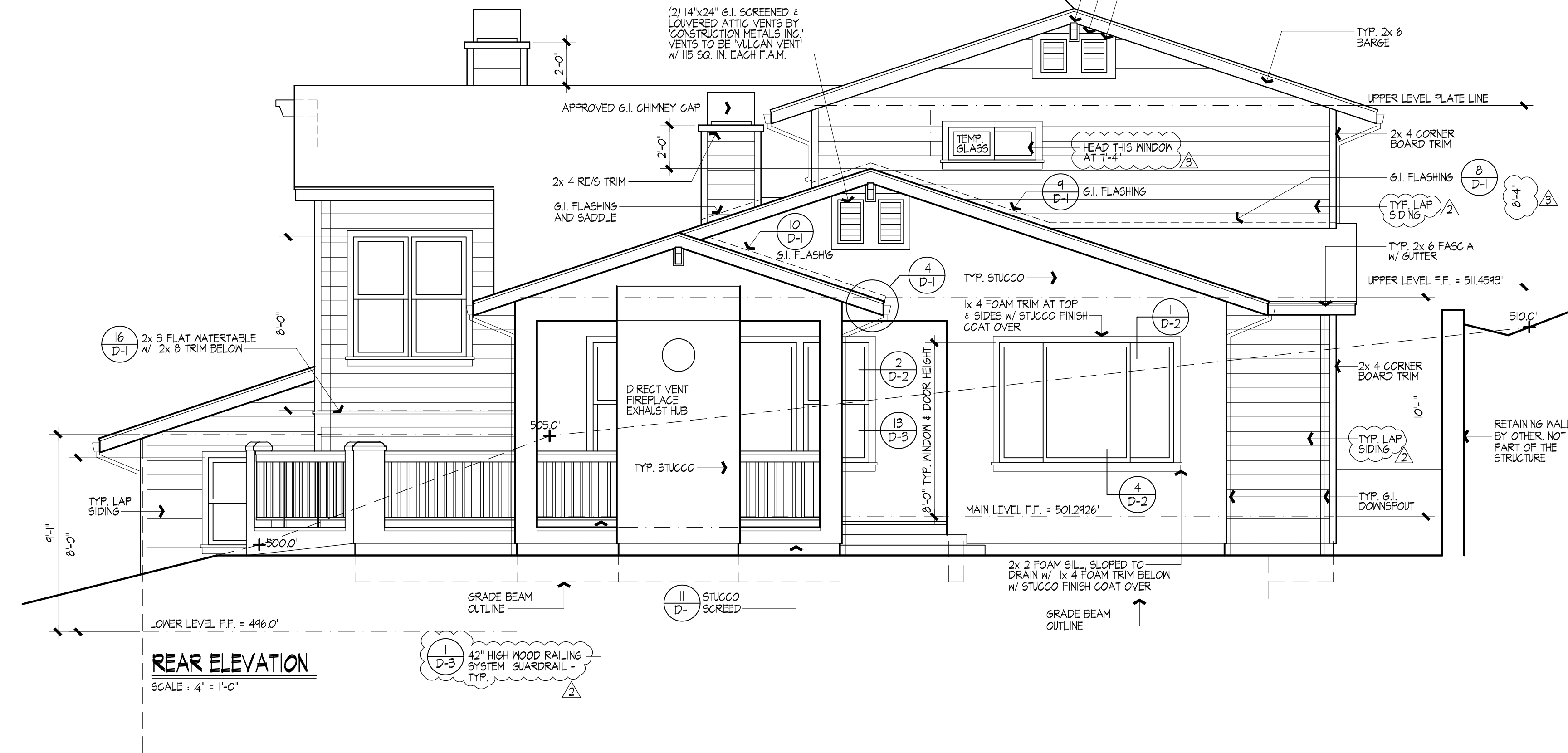
PROVIDE A 22"x30" CUT-OUT IN ROOF SHEATHING BELOW CAL. FRAMING FOR ATTIC ACCESS & VENTILATION

TYP. 6/1 GUTTER AT EAVES



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:**
- ALL FASCIAS & BARGES TO BE 2x6 RESAWN UNLESS NOTED OTHERWISE
 - TRIM APPLIED OVER STUCCO TO BE FOAM W/ STUCCO FINISH COAT OVER UNLESS NOTED OTHERWISE
 - ALL 7/8" STUCCO TO BE A 3-COAT SYSTEM W/ A LIGHT LACE FINISH.
 - PROVIDE 'MOISTOP' FLASHING AROUND ALL EXTERIOR WALL OPENINGS AND PENETRATIONS.
 - LAPPED SIDING TO BE HARDIPLANK SIDING BY JAMES HARDIE BUILDING PRODUCTS OVER A MIN. 1-LAYER OF 15# BUILDING PAPER. SIDING IS A NON-COMBUSTIBLE MATERIAL. ICC-ES REPORT # ESR-2230.
 - PROVIDE AN 8" EXPOSURE ON THE SIDING.
 - A WATER-RESISTIVE BARRIER SHALL BE INSTALLED BETWEEN WOOD-BASED SHEATHING & STUCCO WITH A PERFORMANCE EQUIVALENT TO AT LEAST 2 LAYERS OF GRADE 'D' PAPER CBC 2910.6
 - ALL TRIM OVER SIDING TO BE RE/S WOOD TRIM (UNO.)
 - ALL EXPOSED WOOD TO BE RE/S (UNO.)
 - SEE T-24 SHEETS FOR WINDOW REQUIREMENTS
 - ALL GLAZING TO BE DUAL PANELED W/ 1- PANE BEING TEMPERED GLASS UNLESS NOTED TEMPERED WHICH BOTH PANES NEED TO BE TEMPERED
 - ALL GABLE END AND FOUNDATION VENTS TO BE BY CONSTRUCTION METALS INC. MUST BE A VULCAN VENT TO MEET THE EMBER RESISTANCE REQUIREMENTS OF SECTION R321.6 OF THE C.R.C.
 - ALL DORMER VENTS TO BE OHAGINS VENTS TO MEET THE EMBER RESISTANCE REQUIREMENTS OF SECTION R321.6 OF THE C.R.C.



REAR ELEVATION
SCALE: 1/4" = 1'-0"

MARK GROSS & ASSOCIATES, INC.
8801 Research Drive
Irvine, California 92618
(949) 367-3000 Fax (949) 367-7900

ARCHITECTURE PLANNING

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2184 COBBLEHILL PLACE
SAN MATEO, CALIFORNIA
TICONDEROGA PARTNERS, LLC
655 SKY WAY - SUITE 200
SAN CARLOS, CALIFORNIA 94070
PHONE (650) 595-5582 FAX (650) 595-5066

LOT No. 10
EXTERIOR ELEVATIONS & ROOF PLAN

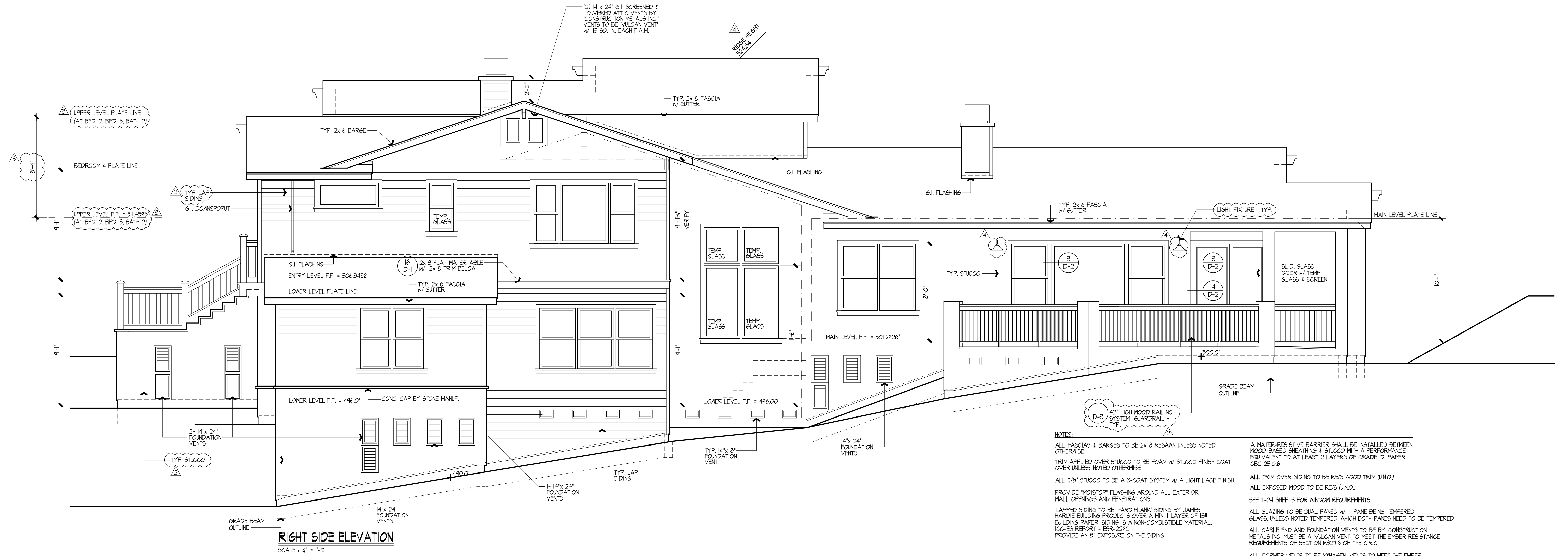
REVISIONS
FEB. 8, 2017 P.C. 1
FEB. 9, 2017 PLANNING C.
JUNE 19TH PLANNING C. 2
NOV. 15, 2017 PLANNING

ALL DIMENSIONS & CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.

DESIGNED BY
DRAWN BY
CHECKED BY
JOB NO. 4271
DATE JANUARY 06, 2016
SHEET NO.

10-11

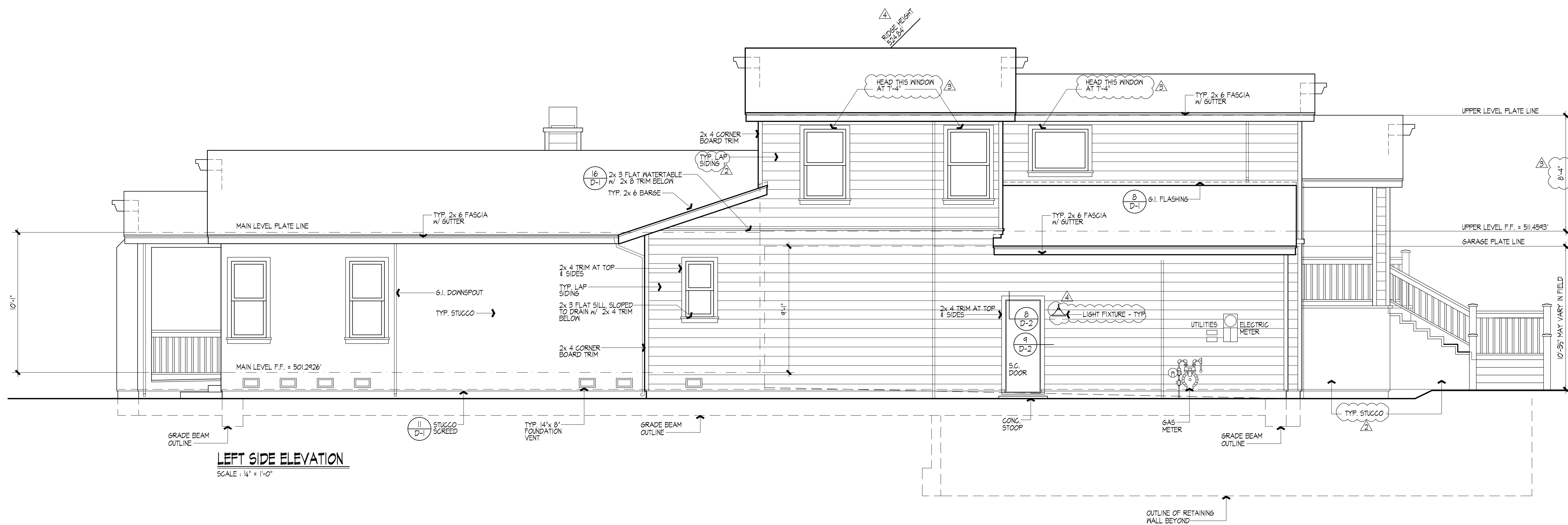
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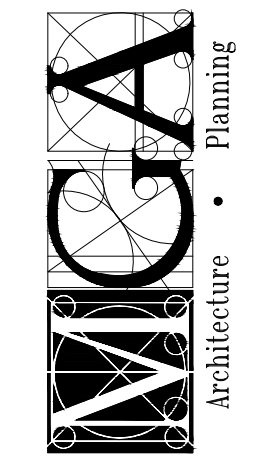
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:

- ALL FASCIAS & BARGES TO BE 2x6 RESAWN UNLESS NOTED OTHERWISE.
- TRIM APPLIED OVER STUCCO TO BE FOAM W/ STUCCO FINISH COAT OVER UNLESS NOTED OTHERWISE.
- ALL 7/8" STUCCO TO BE A 3-COAT SYSTEM W/ A LIGHT LACE FINISH.
- PROVIDE "MOISTOP" FLASHING AROUND ALL EXTERIOR WALL OPENINGS AND PENETRATIONS.
- LAPPED SIDING TO BE HARDPLANK SIDING BY JAMES HARDIE BUILDING PRODUCTS OVER A MIN. 1-LAYER OF 15# BUILDING PAPER. SIDING IS A NON-COMBUSTIBLE MATERIAL. ICC-ES REPORT - ESR-2280.
- PROVIDE AN 8" EXPOSURE ON THE SIDING.
- A WATER-RESISTIVE BARRIER SHALL BE INSTALLED BETWEEN WOOD-BASED SHEATHING & STUCCO WITH A PERFORMANCE EQUIVALENT TO AT LEAST 2 LAYERS OF GRADE D PAPER CBC 2510.6.
- ALL TRIM OVER SIDING TO BE REIS WOOD TRIM (UNO).
- ALL EXPOSED WOOD TO BE REIS (UNO).
- SEE T-24 SHEETS FOR WINDOW REQUIREMENTS.
- ALL GLAZING TO BE DUAL PANED W/ 1- PANE BEING TEMPERED GLASS UNLESS NOTED TEMPERED, WHICH BOTH PANE NEED TO BE TEMPERED.
- ALL GABLE END AND FOUNDATION VENTS TO BE BY CONSTRUCTION METALS INC. MUST BE A VULCAN VENT TO MEET THE EMBER RESISTANCE REQUIREMENTS OF SECTION R321.6 OF THE C.R.C.
- ALL DORMER VENTS TO BE OHAGEN VENTS TO MEET THE EMBER RESISTANCE REQUIREMENTS OF SECTION R321.6 OF THE C.R.C.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



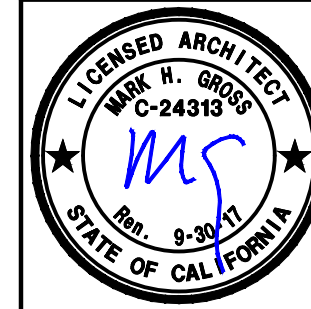
Mark Gross & Associates, Inc.
8881 Research Drive
Irvine, California 92618
(949) 367-3000 Fax (949) 367-7660

"HIGHLAND ESTATES, LOT 10"
2184 COBBLEHILL PLACE
SAN MATEO, CALIFORNIA, LLC
TICONDEROGA PARTNERS, LLC
655 SKY WAY, SUITE 200
SAN CLEMENTE, CALIFORNIA 94701
PHONE (650) 595-5582 FAX (650) 595-5066

LOT No. 10
EXTERIOR ELEVATIONS

REVISIONS

▲ FEB. 8, 2017	P.C. 1
▲ FEB. 9, 2017	PLANNING C.
▲ JUNE 15, 2017	PLANNING C. 2
▲ NOV. 15, 2017	PLANNING C.



ALL DIMENSIONS & CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.

DESIGNED BY	R.L.S.
DRAWN BY	R.L.S.
CHECKED BY	
JOB NO.	4271
DATE	JANUARY 06, 2016
SHEET NO.	

10-12

ELEVATION NOTES:

- ALL FASCIAS & BARGES TO BE 2x6 RESAWN UNLESS NOTED OTHERWISE
- ALL EXPOSED WOOD TO BE RE/S (UNO)
- ALL LAP SIDING TO BE BY JAMES HARDIE OR EQUAL SIDING TO HAVE 5' EXPOSURE. ICC-ES NUMBER ESR-2240.
- NFPA-251 FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS
- ALL EXTERIOR CEILINGS TO BE HARDI-SOFFIT BY JAMES HARDIE ESR-2273.
- ALL SOFFITS AT THE EAVE AND BARGE OVERHANGS TO BE HARDI-SOFFIT BY JAMES HARDIE ESR-2273.
- PROVIDE "MOISTOP" FLASHING AROUND ALL EXTERIOR WALL OPENINGS AND PENETRATIONS.
- BUILDING ENVELOPE PENETRATIONS SHOULD BE SEALED WITH GULKFLASH PANELS OR OTHER SIMILAR PRODUCT. PRE-MANUFACTURED FLASHING PANELS DO NOT PRECLUDE RODENT-PROOFING AS DEFINED IN C.R.C. R602.3.4.1.
- ALL BRICK VENEER TO BE BY KORONADO OR EQ. ICC THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. REPORT ESR-2546.
- ALL ROOF COVERINGS TO BE A CLASS 'A' RATINGS
- ALL STUCCO TO BE A 3-COAT SYSTEM, 1/8" MINIMUM THICKNESS W/ A LIGHT LACE FINISH.
- DOWNPOUT ATTACHMENTS AND OTHER INCIDENTAL FIXTURES THAT PENETRATE THE EXTERIOR WALL MEMBRANE SHALL HAVE ALL HOLES DRILLERED AND FILLED WITH SEALANT PRIOR TO DRIVING FASTENERS.
- SEE MATERIAL AND COLOR SCHEDULE FOR PAINT AND COLORS.
- TRIM APPLIED OVER STUCCO TO BE FOAM W/ STUCCO FINISH COAT OVER UNLESS NOTED OTHERWISE
- ALL TRIM OVER SIDING TO BE RE/S WOOD TRIM (UNO)
- A WATER-RESISTIVE BARRIER SHALL BE INSTALLED BETWEEN WOOD-BASED SHEATHING & STUCCO WITH A PERFORMANCE EQUIVALENT TO AT LEAST 2 LAYERS OF GRADE D PAPER. CBC 2510.6
- SEE T-24 SHEETS FOR WINDOW REQUIREMENTS

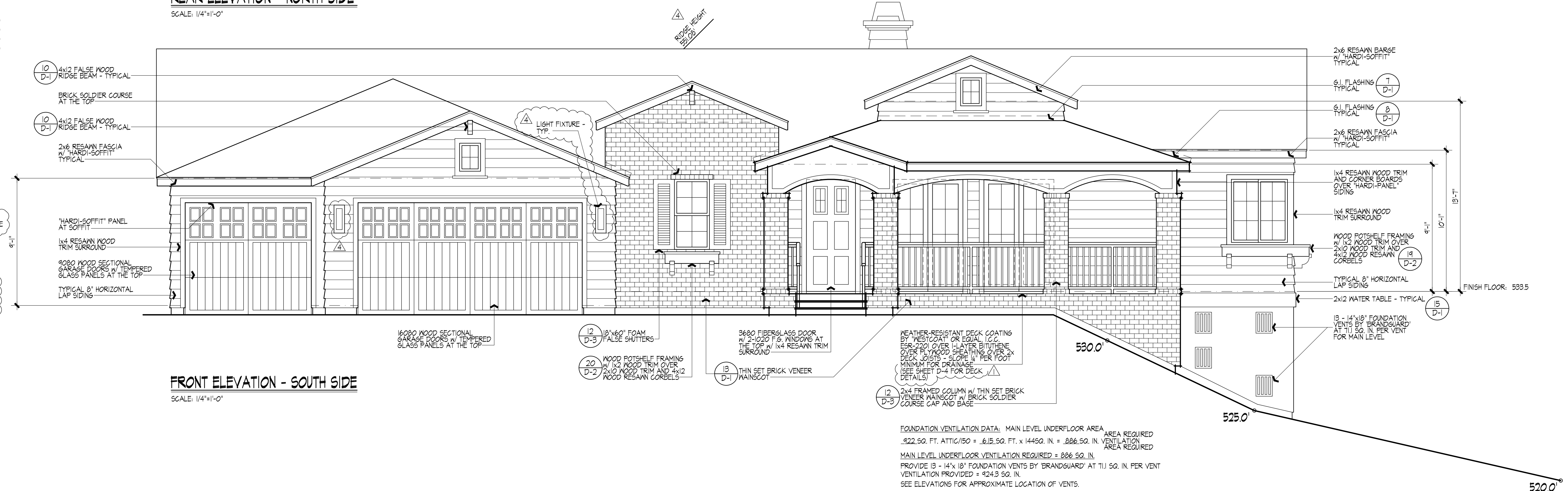
VERY HIGH FIRE SEVERITY ZONE NOTES:

- DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. CBC 705A.4.1.
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.016-INCH NO. 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RAINING THE FULL LENGTH OF THE VALLEY. CBC 705A.5.
- ALL VENT OPENINGS (ATTIC UNDERFLOOR COMBUSTION AIR, ETC.) ARE TO BE PROTECTED BY NONCOMBUSTIBLE, CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS:
INDIVIDUAL VENT OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES. THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16-INCH INCH AND SHALL NOT EXCEED 1/8-INCH.
- CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. CBC 711A.1.
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA Q115.2 STRUCTURAL REQUIREMENTS. CBC 702A.2.1.
- EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING:
BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF CBC SECTION 2406 FOR SAFETY GLAZING.
HAVE A FIRE-RESISTANCE RATINGS OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 251.
BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- EXTERIOR DOOR SHALL COMPLY WITH ONE OF THE FOLLOWING:
THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
HAVE A MINIMUM 20-MINUTE FIRE-RESISTANCE RATINGS.
TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.
CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS:
STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8 INCHES THICK.
RAISED PANELS SHALL NOT BE LESS THAN 1 1/4 INCHES THICK. THE EXTERIOR PERIMETER OF THE RAISED PANEL MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK.



REAR ELEVATION - NORTH SIDE

SCALE: 1/4"=1'-0"



FRONT ELEVATION - SOUTH SIDE

SCALE: 1/4"=1'-0"

FOUNDATION VENTILATION DATA: MAIN LEVEL UNDERFLOOR AREA
 922.50 FT. ATTIC/150 = 6,15.50 FT. x 144.50 IN. = 886.50 IN. VENTILATION AREA REQUIRED
 MAIN LEVEL UNDERFLOOR VENTILATION REQUIRED = 886.50 IN.
 PROVIDE 13 - 14" x 18" FOUNDATION VENTS BY BRANDGUARD AT 111.50 IN. PER VENT
 VENTILATION PROVIDED = 924.3 50. IN.
 SEE ELEVATIONS FOR APPROXIMATE LOCATION OF VENTS.

FOUNDATION VENTILATION DATA: LOWER LEVEL UNDERFLOOR AREA
 1840.50 FT. ATTIC/150 = 10,215.00 FT. x 144.50 IN. = 1,479.50 IN. VENTILATION AREA REQUIRED
 LOWER LEVEL UNDERFLOOR VENTILATION REQUIRED = 1,479.50 IN.
 PROVIDE 33 - 14" x 12" FOUNDATION VENTS BY BRANDGUARD AT 45.3 50. IN. PER VENT
 VENTILATION PROVIDED = 1,494.9 50. IN.
 SEE ELEVATIONS FOR APPROXIMATE LOCATION OF VENTS.

REVISIONS

DEC 28, 2016	P.C. 1
JUNE 13/11	PLANS C.2

ALL DIMENSIONS & CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.

DESIGNED BY
 DRAWN BY
 CHECKED BY
 JOB NO. 4276
 DATE AUGUST 2015
 SHEET NO.

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ROOF VENTILATION DATA: MAIN FLOOR ATTIC
 247.950 FT. ATTIC/300 = 4.92 SQ. FT. x 144 SQ. IN. = 1428.50 IN. VENTILATION AREA REQUIRED

TOTAL VENTILATION REQUIRED TO BE DIVIDED EQUALLY AMONG UPPER AND LOWER VENTILATION PER C.R.G. SECTION R906.

REQUIRED UPPER VENTILATION: 714.50 IN.

PROVIDE

* 4 - "BRANDGUARD" 14"x24" GABLE END VENTS WITH 47.50 IN. OF FREE VENTILATION FOR EACH VENT.

* 5 - "OHAGIN" EMBER RESISTANT DORMER VENTS WITH 360.50 IN. OF FREE VENTILATION FOR EACH VENT.

TOTAL = 748.50 IN.

REQUIRED LOWER VENTILATION: 714.50 IN.

PROVIDE

* 6 - "BRANDGUARD" 120"x35" CONTINUOUS EAVER VENTS WITH 120.50 IN. OF FREE VENTILATION FOR EACH VENT.

TOTAL = 120.50 IN.

ROOF VENTILATION DATA: PORCH/DINING ROOM ATTIC

382.50 FT. ATTIC/300 = 1.21 SQ. FT. x 144 SQ. IN. = 174.50 IN. VENTILATION AREA REQUIRED

TOTAL VENTILATION REQUIRED TO BE DIVIDED EQUALLY AMONG UPPER AND LOWER VENTILATION PER C.R.G. SECTION R906.

REQUIRED UPPER VENTILATION: 87.50 IN.

PROVIDE

* 2 - "OHAGIN" EMBER RESISTANT DORMER VENTS WITH 144.50 IN. OF FREE VENTILATION FOR EACH VENT.

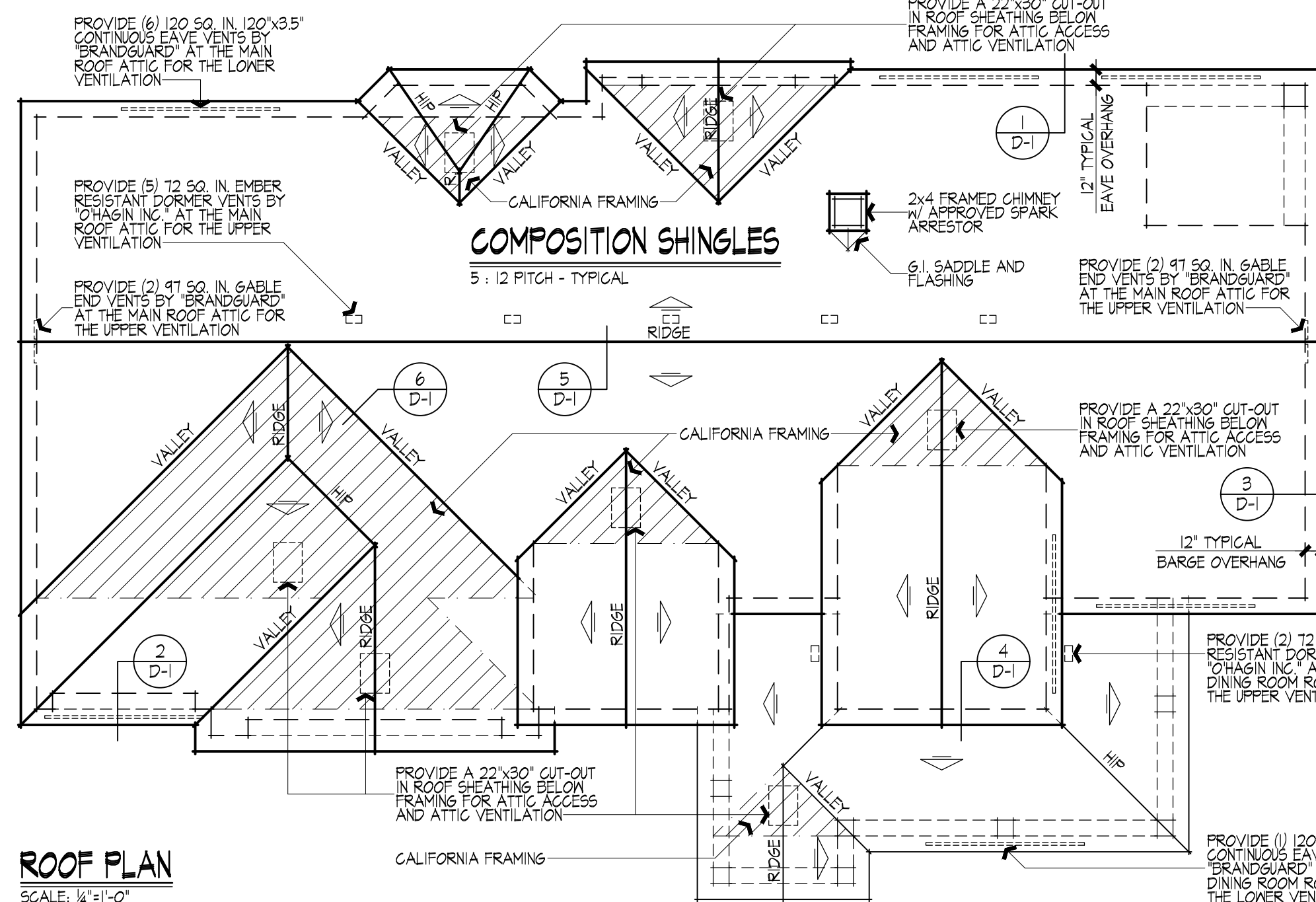
TOTAL = 144.50 IN.

REQUIRED LOWER VENTILATION: 87.50 IN.

PROVIDE

* 1 - "BRANDGUARD" 120"x35" CONTINUOUS EAVER VENT WITH 120.50 IN. OF FREE VENTILATION FOR EACH VENT.

TOTAL = 120.50 IN.



ROOF PLAN

SCALE: 1/4"=1'-0"

ROOF NOTES:

- REFER TO SHEET D-1 FOR COMPLETE ROOFING NOTES AND DETAILS.
- ROOF SHEATHING TO BE SOLID. SEE STRUCTURAL ENGINEER'S SHEETS FOR SPECIFICATIONS.
- COMPOSITION ROOF SHINGLE TO HAVE A CLASS 'A' RATING.
- COMPOSITION SHINGLES INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS AND COMPLY WITH C.R.G. SECTION R905.2.
- UNDERLAYMENT APPLICATION:
FOR ROOF SLOPES FROM 2:12 UP TO 4:12, UNDERLAYMENT SHALL BE 2 LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 18-INCH STRIP OF 30# FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36-INCH WIDE SHEETS OF 30# UNDERLAYMENT OVERLAPPING SUCCESSIVE SHEETS 14-INCHES, AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. FOR ROOF SLOPES GREATER THAN 4:12, UNDERLAYMENT SHALL BE ONE LAYER OF 30# FELT APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES. FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6 FEET.
- SHINGLE ATTACHMENT:
ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER, BUT NOT LESS THAN 4 FASTENERS PER STRIP SHINGLE OR 2 FASTENERS PER INDIVIDUAL SHINGLE WHERE THE ROOF SLOPE EXCEEDS 2:12 PITCH. SHINGLES SHALL BE INSTALLED AS REQUIRED BY THE MANUFACTURER.
- FASTENERS:
FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, ALUMINUM OR COPPER ROOFING NAILS, MINIMUM 12 GAGE SHANK WITH A MINIMUM 3/8" DIAMETER HEAD, ASTM F 1667, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4" INTO THE ROOF SHEATHING, WHERE THE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING. FASTENERS SHALL COMPLY WITH ASTM F 1667.
- THIS WILL BE A COOL ROOF APPLICATION BY 'CERTANTEED' MODEL 'PRESIDENTIAL SOLARIS' PRODUCT 1.0, No. 0868-0076.
COLOR TO 'MAX. DEF. WEATHERED WOOD'.
SOLAR REFLECTANCE = .28
THERMAL EMITTANCE = .43
- PROVIDE DIVERTERS AS REQUIRED.
- ALL ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN THE ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12" x 12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION.
- RADIANT BARRIER IS REQUIRED IN BOTH FIRST FLOOR AND SECOND FLOOR ATTICS. SEE SHEET T-244
- A HEIGHT CERTIFICATION WILL BE REQUIRED PRIOR TO THE ROOF NAILING / FRAMING INSPECTION.
- ROOF COVERINGS THAT CREATE A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECK SHALL HAVE ONE LAYER OF 1/2" MINERAL SURFACED CAP SHEET INSTALLED OVER THE COMBUSTIBLE ROOF DECK.
- VENTILATION OPENINGS FOR ATTICS, ENCLOSED EAVER SOFFITS, ENCLOSED RAFTER SPACES AND UNDER FLOOR AREAS SHALL BE NON-COMBUSTIBLE, CORROSION RESISTANT AND HAVE WIRE MESH WITH 1/8" TO 1/8" OPENINGS OR ITS EQUIVALENT.

VERY HIGH FIRE SEVERITY ZONE NOTES:

- DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. CBC 705A.4.1.
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.009-INCH (N) 28 GALVANIZED STEEL BASED CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CBC 705A.3.
- ALL VENT OPENINGS (ATTIC, UNDERFLOOR, COMBUSTION AIR, ETC.) ARE TO BE PROTECTED BY NON-COMBUSTIBLE, CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS:
INDIVIDUAL VENT OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES. THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/8-INCH INCH AND SHALL NOT EXCEED 1/8-INCH.
- CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. CBC 711A.1.
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS METAL REINFORCEMENT IN THE INTERLOCK AREA AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 101/5.2 STRUCTURAL REQUIREMENTS. CBC 708A.2.2).
- EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING:
BE CONSTRUCTED OF MULTIPANE GLAZINGS WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF CBC SECTION 2406 FOR SAFETY GLAZING.
HAVE A FIRE-RESISTANCE RATINGS OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257.
BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-1A-2.
- EXTERIOR DOOR SHALL COMPLY WITH ONE OF THE FOLLOWING:
THE EXTERIOR SURFACE OR GLAZING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
HAVE A MINIMUM 20-MINUTE FIRE-RESISTANCE RATINGS.
TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-1A-1.
CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS:
STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8 INCHES THICK.
RAISED PANELS SHALL NOT BE LESS THAN 1 1/4 INCHES THICK; THE EXTERIOR PERIMETER OF THE RAISED PANEL MAY TAPER TO A TONGUE NOT LESS THAN 3/8 INCH THICK.

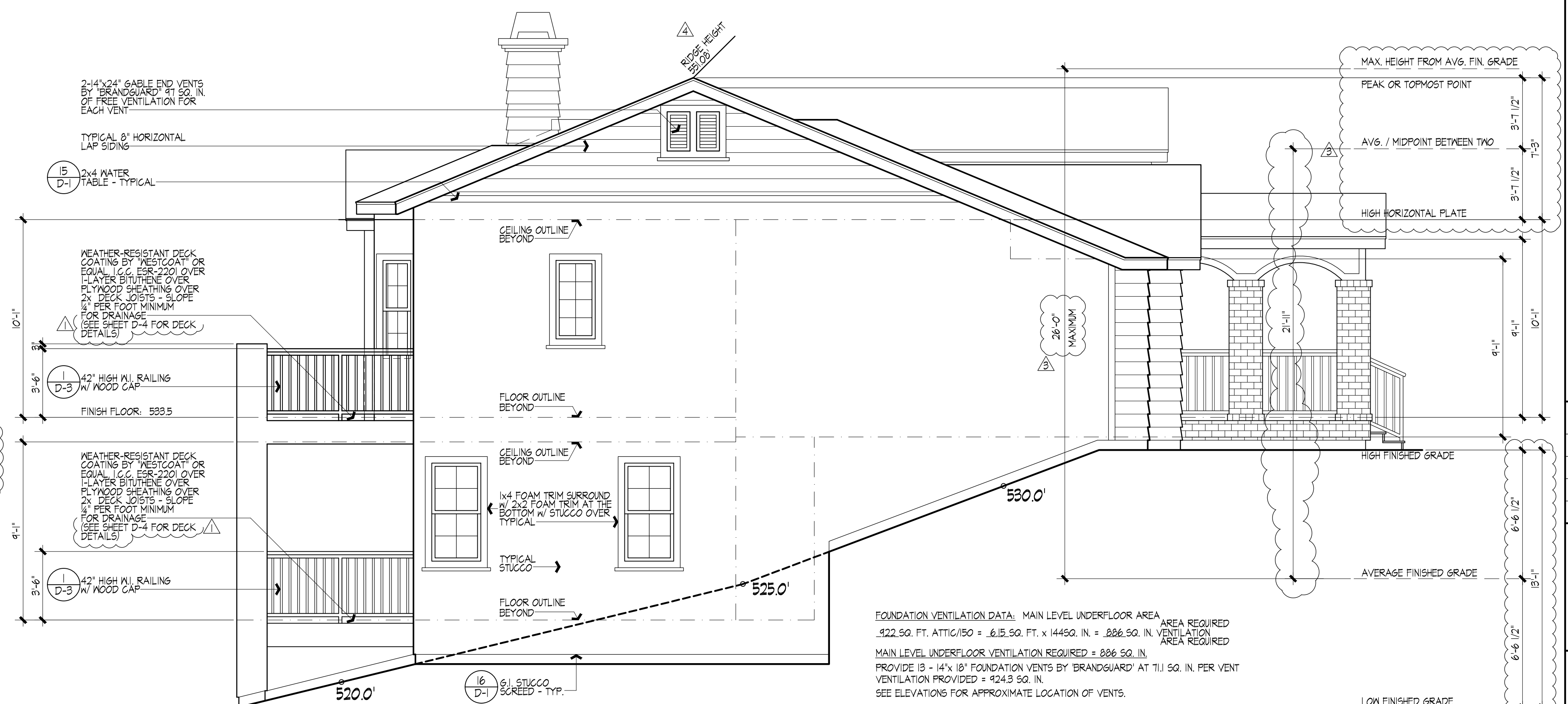
ELEVATION NOTES:

- ALL FASCIAS & BARGES TO BE 2x6 RESAWN UNLESS NOTED OTHERWISE.
- ALL EXPOSED WOOD TO BE RE/S (UN.O.)
- ALL LAP SIDING TO BE BY 'JAMES HARDIE' OR EQUAL SIDING TO HAVE 8" EXPOSURE.
ICC-ES NUMBER ESR-2290
NFPA-251 FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS.
- ALL EXTERIOR CEILING TO BE 'HARD-SOFFIT' BY JAMES HARDIE.
ESR-2278.
- ALL SOFFITS AT THE EAVE AND BARGE OVERHANGS TO BE 'HARD-SOFFIT' BY JAMES HARDIE.
ESR-2278.
- PROVIDE 'MOISTOP' FLASHING AROUND ALL EXTERIOR WALL OPENINGS AND PENETRATIONS.
BUILDING ENVELOPE PENETRATIONS SHOULD BE SEALED WITH QUICKFLASH PANELS OR OTHER SIMILAR PRODUCT. PRE MANUFACTURED FLASHING IN LIEU OF FIELD-FABRICATED SHEET METAL FLASHING AND SEALANT AT ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS. NOTE THAT PRE-MANUFACTURED FLASHING PANELS DO NOT PRECLUDE RODENT-PROOFING AS DEFINED IN C.R.C. 9602.3.4.1.
- ALL BRICK VENEER TO BE BY 'CORONADO' OR EQ. IGO THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS, REPORT ESR-2548.
- ALL ROOF COVERINGS TO BE A CLASS 'A' RATING.
- ALL STUCCO TO BE A 3-COAT SYSTEM, 7/8" MINIMUM THICKNESS W/ A LIGHT LACE FINISH.
- DOWNSPOUT ATTACHMENTS AND OTHER INCIDENTAL FEATURES THAT PENETRATE THE EXTERIOR WALL MEMBRANE SHALL HAVE ALL HOLES PREDRILLED AND FILLED WITH SEALANT PRIOR TO DRIVING FASTENERS.
- SEE MATERIAL AND COLOR SCHEDULE FOR PAINT AND COLORS.
- ALL TRIM OVER SIDING TO BE RE/S WOOD TRIM (UN.O.)
- A WATER-RESISTIVE BARRIER SHALL BE INSTALLED BETWEEN WOOD-BASED SHEATHING & STUCCO WITH A PERFORMANCE EQUIVALENT TO AT LEAST 2 LAYERS OF GRADE 'D' PAPER CBC 2510.6
- SEE T-24 SHEETS FOR WINDOW REQUIREMENTS



RIGHT ELEVATION - EAST SIDE

SCALE: 1/4"=1'-0"



LEFT ELEVATION - WEST SIDE

SCALE: 1/4"=1'-0"

FOUNDATION VENTILATION DATA: MAIN LEVEL UNDERFLOOR AREA
 .922.50 FT. ATTIC/150 = 6.15 SQ. FT. x 144 SQ. IN. = 886.50 IN. VENTILATION AREA REQUIRED
 MAIN LEVEL UNDERFLOOR VENTILATION REQUIRED = 886.50 IN.
 PROVIDE 13 - 14"x18" FOUNDATION VENTS BY 'BRANDGUARD' AT 71.0 SQ. IN. PER VENT
 VENTILATION PROVIDED = 424.8 SQ. IN.
 SEE ELEVATIONS FOR APPROXIMATE LOCATION OF VENTS.

FOUNDATION VENTILATION DATA: LOWER LEVEL UNDERFLOOR AREA
 1.540.50 FT. ATTIC/150 = 10.2150 FT. x 144 SQ. IN. = 1,471.50 IN. VENTILATION AREA REQUIRED
 LOWER LEVEL UNDERFLOOR VENTILATION REQUIRED = 1,471.50 IN.
 PROVIDE 33 - 14"x12" FOUNDATION VENTS BY 'BRANDGUARD' AT 45.3 SQ. IN. PER VENT
 VENTILATION PROVIDED = 1,494.8 SQ. IN.
 SEE ELEVATIONS FOR APPROXIMATE LOCATION OF VENTS.

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LOT No. 11
 EXTERIOR ELEVATIONS
 AND ROOF PLAN

REVISIONS
 P.C. 1
 LINE 1/11 PLANS C.2

DESIGNED BY
 DRAWN BY
 CHECKED BY
 JOB NO. 4278
 DATE AUGUST 2015
 SHEET NO.

MITIGATION MONITORING AND REPORTING AGREEMENT
BETWEEN THE COUNTY OF SAN MATEO AND
HIGHLANDS ESTATES DEVELOPMENT I, LLC AND CHAMBERLAIN GROUP

This Mitigation Monitoring Agreement (“Agreement”) is between the County of San Mateo (“County”) on the one hand, and Highland Estates Development I, LLC and Chamberlain Group (collectively, the “Developer,” and, together with the County, the “Parties”), on the other. This Agreement relates to Developer’s obligation to fund the costs of the mitigation monitoring and reporting program (“MMRP”) for the Project (as defined below). This Agreement is effective as of September 12, 2017, although the Parties acknowledge and agree that Developer is responsible to pay for all costs associated with the MMRP for the Project, even if incurred prior to the effective date of this Agreement.

RECITALS

1. On April 27, 2010, the County approved Developer’s proposal for a project in the unincorporated San Mateo Highlands consisting of a Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, all for the development of eleven residential lots to be located on parcels identified as Assessor’s Parcel Numbers (“APNs”) 041-101-290 and 041-072-030 (“Project”). The approved project includes the creation of a 93.39-acre parcel (identified as APN 041-101-380), which is subject to a recorded conservation easement.
2. Highland Estates Development I, LLC is the landowner of the properties of the “Highlands Estates”, which currently consists of Parcels 041-101-390 (Lot 5 on Ticonderoga Drive); 041-101-400 (Lot 6 on Ticonderoga Drive); 041-101-410 (Lot 7 on Ticonderoga Drive); 041-101-420 (Lot 8 on Ticonderoga Drive); 041-101-430 (Lot 9 on Cobblehill Place); 041-101-440 (Lot 10 on Cobblehill Place), located within the County of San Mateo all zoned as Resource Management (RM), with the exception of Lots 9 and 10 which are located within the R-1/S-81 Zoning District. Highland Estates Development I, LLC seek building permits for the construction of single-family residences on Lots 5 through 11.
3. Lots 1 through 4 of the Highlands Estates (2279, 2275, 2271, and 2265 Bunker Hill Drive) have been developed and sold to individual owners are not the subject of this MOU.
4. When it approved the Project, the Conditions of Approval imposed by the Board of Supervisors for the Project included Condition No. 4, which requires as follow: that “The property owner shall comply with all mitigation measures as revised and listed below (based on the Mitigation Monitoring and Reporting Program (MMRP) incorporated



within the Final [Environmental Impact Report] and made available to the public on January 4, 2010). When timing has not been specified below, then mitigation timing and monitoring shall be as specified in the MMRP. The applicant shall enter into a contract with the San Mateo County Planning and Building Department for all mitigation monitoring for this project prior to the issuance of any grading permit “hard card” for the project. The fee shall be staff’s cost, plus 10 percent, as required in the current Planning Service Fee Schedule. Planning staff may, at their discretion, contract these services to an independent contractor at cost, plus an additional 10 percent for contract administration.” (Emphasis added.)

5. The County and the Developer have yet to enter into such a contract for mitigation monitoring in connection with the Project MMRP and the Parties are entering into this Agreement in order to satisfy the requirements of Condition No. 4 of the Project Conditions of Approval.
6. Grading Permit “hard cards” for grading related to approved development on Lots 9 through 11 and Lots 5 through 8 have not yet been issued.

Therefore, in consideration of the foregoing recitals and other appropriate matters, the Parties agree as follows:

1. The Developer shall pay, or cause to be paid, to the County a fee in an amount equal to the County’s cost in Planning and Building Department staff time and materials for mitigation monitoring in connection with implementation of the Project MMRP, plus ten percent (10%) (reflecting administrative and overhead costs), as set forth in the current Planning and Building Department Service Fee Schedule. For purposes of this Agreement, “time and materials” means the hourly staff cost attributable to all staff time spent monitoring the implementation of mitigation measures for the Project. Such staff time may include, but are not limited to, the review and analysis of required reports, performance of inspections, responding to inquiries from the public, and meetings with Developer, contractors, and other involved departments and agencies. The Parties acknowledge and agree that currently outstanding MMRP fees to be paid under this Agreement must be paid to the County prior to final approval of the building permits for Lots 9 through 11 for mitigation monitoring associated with the Project MMRP for construction on those lots and prior to final approval of the building permits for Lots 5 through 8 for mitigation monitoring associated with construction on those lots. Moreover, the Parties agree that no further grading permits for the Project will be issued prior to payment of outstanding fees for mitigation monitoring associated with the Project MMRP.
2. The Community Development Director may, at his/her discretion, contract these mitigation monitoring services associated with the Project MMRP to an independent contractor at cost, plus an additional ten percent payable to the County Planning and Building Department for contract administration and overhead. The Developer will be



notified 30 days prior to a decision by the County to contract with an independent contractor for mitigation monitoring services.

3. The Parties acknowledge that, as of the effective date of this Agreement, the County has incurred \$904.86 in staff time and material expenses for mitigation monitoring services associated with the Project MMRP. These expenses are detailed in the invoice attached as Exhibit A to this Agreement and incorporated herein by reference. Developer agrees to pay this amount by no later than October 1, 2017.
4. This Agreement shall remain in effect until all actions required under the MMRP have been completed.

IN WITNESS WHEREOF, the Parties hereto have executed this MOU, effective on the date written above.

County:

By: Steve Monowitz
Steve Monowitz, Community Development Director

Date: 9/12/17

Approved as to Form:

By: [Signature] 9/12/2017
John Nibbelin, Chief Deputy County Counsel

Highland Estates Development I, LLC

Approved as to Form:

By: [Signature]
MANAGING MEMBER
NOEL CHAMBERLAIN

By: _____
_____, Title

Date: 9/12/2017

Date: _____

Date: April 25, 2016 (Revised – 5/1/18)

Re: Planning Comments on Lots 5-8

From: Camille Leung, Senior Planner

BLD2016-00161 – Lot 8

BLD2016-00162 – Lot 7

BLD2016-00163 – Lot 6

BLD2016-00164 – Lot 5

Comments Pertaining to All Lots:

PRIOR TO Building Permit/Grading Permit Hard Card Issuance:

1. WDID # for State General Construction permit
 2. Install Erosion Control – Must schedule Erosion Control and Tree Protection Pre-Site inspection
 3. Documents must be submitted as required by:
 - a. Condition 4s
 - b. Condition 4t
 - c. ~~Condition 4w – Address potential conflicts with school traffic~~
 - d. Condition 24 - Schedule of Grading Operations
 4. Biological Reports (see Mitigation Measures for timing)
 - a. Woodrat survey
 - b. Bird Survey
 - c. Bat Survey
 - d. Purple Needlegrass – Lot 8
 5. Camille to mail Notices to neighbors within 200-feet of lots
 6. Deed Restrictions for Lots 1-4
 - a. Conditions 4u and 6
 7. Approval of Minor/Major Modifications necessary to approve:
 - a. Letter to Describe Significantly increased grading (export) from Approved quantities dated 12/7/2009 (Job No. 950168.10) and associated truck trips, as discussed at 5/1/18 meeting with Director. Lots 1-4 grading volumes may be excluded from analysis.
 - b. Grading outside of approved limits
- b-8. Regarding landslide remediation and the drawings you showed to Steve and I at the meeting of 5/1/18, please note that this will need a Building Permit. I would recommend a separate Building Permit if you would like this permit to get issued prior to house construction. Please submit these plans and associated grading calculations (cut and fill) to the Building Inspection Section.

(see notes below under each lot)

Civil – All Lots:

~~1. Show ALL easements and no build areas on the site plan, grading plan, erosion plan, and landscaping plans~~

~~2.1. Provide color chip for color or bioretention planters (to be light green or beige to match natural landscape, not “lawn green”)~~

~~3.2. Erosion Control:~~

~~a. Tree protection: Show protection for all trees to remain regardless of size.~~

~~b. Chainlink fencing at borders of conservation easement and along perimeter with no build areas~~

~~c. No erosion control/disturbance in no build areas~~

~~d. Protect storm drain inlets using permeable rock sacks and/or fiber rolls.~~

~~e. Indicate the location and method of erosion control on disturbed bare earth areas. Use seeding and/or mulching and the following, as necessary:~~

~~i) (For slopes 3:1 or greater) Anchored erosion control blankets (rice straw or coconut).~~

~~ii) (For slopes less than 3:1) Anchored fiber fabric/netting or surface roughening.~~

~~f. Show location of office trailer(s), storage sheds, temporary power pole, scaffold footprint, and other temporary installations on the plans. Show how they will be accessed and show protection of the access routes.~~

~~g. Stabilized designated access points should use 4”-6” fractured aggregate over geo-textile fabric.~~

~~h. Provide designated area for parking of construction vehicles, using aggregate over geo-textile fabric.~~

~~i. Show all access roads/ramps used for excavation/backfill, earth boring, fork lift/crane access (second floor construction). For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet.~~

~~j. Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits.~~

~~k. Locate portable toilets away from surface water locations and storm drain inlets.~~

~~l. Show storage location and containment of construction materials during work, as well as afterhours/weekends~~

~~m. Provide detail and location of covered temporary stockpiles using anchored-down plastic sheeting in dry weather. In wet weather or for longer storage, use seeding and mulching, soil blankets or mats. =~~

Provide stockpile detail

- ~~n. Indicate the location of refuse piles and debris box locations on the plans. Show how they will be accessed and show protection of the access routes.~~
- ~~e. Erosion Control Point of Contact: Please provide an Erosion Control Point of Contact including name, title/qualifications, email, and two phone numbers.~~

Architectural – All Lots:

1. Dimension maximum height of structures from finished grade and provide ridge line elevation. Please check heights of all houses relative to approved heights (Table 6)
2. Shingles are not allowed (Shown on houses on Lot 5 and 7). Must replace contrasting surface treatment between 2nd story windows and roof above with clerestory windows or siding, consistent with the approved elevations for each house. Rock should be used only minimally, as consistent with the approved elevations for each house.
3. Provide Exterior Lighting Plan (show fixtures on elevations, no light can be cast into open space easement, earth-toned lighting). See Conditions 4k and 6.

Landscape – All Lots:

1. Please submit WELO forms and other documents necessary to demonstrate compliance with WELO – See letter dated Feb 2018. Needs Soils Fertility Analysis.
- ~~2. Show all easements and no build areas landscaping plans~~
- ~~3. No fences in no build areas (Lot 8) or over access easements~~
- ~~4. Provide sizes of all interceptor trees (must be minimum 24 gallon to meet requirements of Condition 4.b). Trees must be of a native species.~~

Geotechnical – All Lots:

1. In addition to demonstrating compliance with all conditions of approval, please submit documents addressing:
 - ~~a. Condition 4v regarding Asbestos~~
 - ~~b. Condition No. 37~~
 - c. Condition No. 36 – NOTE: This condition requires “as-builts subdrain system alignments for the underlying stabilization buttress on the house foundation plans”. Please advise as to when these would be prepared and given to the County.

Requirements of Final – All Lots:

1. Grading final
2. Landscaping/Planting photos
3. Stabilized slopes
4. Colors and Materials verification
5. Provide color chip for color or Bioretention planters (to be light green or beige to match natural landscape, not “lawn green”)
- 4.6. _____
- 5.7. _____ O&M Agreements
 - a. All Lots
 - b. Shared planter for Lots 7 and 8 on Lot 8
8. Agreement for Maintenance of Off-site improvement in right of way
- 6.9. _____ Deed restrictions for Lots 5- 8
 - a. Condition 4u, 9, 34, 39,
- 7.10. _____ WELO
 - a. Landscape Certification Form
 - b. Certification of Completion Form

Comments for Individual Lots:

Lot 5:

Civil:

- ~~1. Dimension house from edge of access easement~~
- ~~2. Front property line does not match approved final map~~
- ~~3. Lot size does not match approved final map~~
- ~~4. Grading significantly exceeds approved grading amounts~~

Architectural:

1. Rock on bottom floor of elevation(s) is not consistent with approved elevation. Rock can only be used minimally (e.g., on trim of columns)
2. Design is not consistent with the double gable roof design at front elevation

Landscape:

- ~~1. Please add additional 24-gallon tree in front of house~~

Lot 6:

Civil:

- ~~1. Grading significantly exceeds approved grading amounts~~

Architectural:

1. Colors are not in the approved shades of “browns, greens, and rusts”

Lot 7:

Civil:

- ~~1. Grading significantly exceeds approved grading amounts~~
- ~~2. Lot area is not consistent with the approved final map~~
- ~~3. Dimension house from edge of access easement~~

Architectural:

1. Design is not consistent with the double gable roof design at front elevation
2. Colors are not in the approved shades of “browns, greens, and rusts”

Lot 8:

Civil:

- ~~1. Grading significantly exceeds approved grading amounts~~
- ~~2. Show grading work and limits for sidewalk installation~~
- ~~3. Dimension house from edge of access easement~~

Architectural:

1. Colors are not in the approved shades of “browns, greens, and rusts”. Roof is too dark.

Landscape:

- ~~1. Please add additional 15-gallon replacement tree in right side yard~~

Attachments:

Heights – Table 6 from staff report

Approved Elevations

Approved Grading Amounts

WELO Forms

Subject: FW: Planning Comments on 10/17/17 submittal

Date: 5/1/2018 8:06:47 PM Pacific Standard Time

From: dougm@markgrossinc.com

To: juttlec@aol.com

Hi Jack,

Attached are the PDF of Lots 9-11 showing the MSL at the highest ridge. I included the email below from Camille where she OK this back in November of 2017.



Douglas A. McBeth | Associate AIA

Mark Gross & Associates, Inc | Architecture + Planning

8881 Research Drive, Irvine CA 92618

T (949)387-3800 Ext. 205 | F (949)387-7800

dougm@markgrossinc.com | *visit our new website www.markgrossinc.com



From: Camille Leung [<mailto:cleung@smcgov.org>]

Sent: Friday, November 17, 2017 2:50 PM

To: Doug McBeth

Cc: 'Noel Chamberlain'

Subject: RE: Planning Comments on 10/17/17 submittal



Thanks Doug. Here are my comments with referenced to conditions (full condition language pasted below):

Per Condition 6a, lights for 9-11 need to be earth-toned (non-fluorescent).

Per Bio-5c, light fixture for Lot 11 needs to be shielded.

Thanks

6.a. Lots 1 through 11: Development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the open space parcel. All exterior construction materials shall be of deep earth hues such as dark browns, greens, and rusts. The applicant shall utilize roof materials that perform as a "cool roof." Roof colors shall be of a medium tone, subject to the approval of the Community Development Director. Exterior lighting shall be minimized and earth-tone colors of lights used.

Mitigation Measure BIO-5c: Prior to the issuance of the first building permit for any of the eleven (11) homes, the Project Applicant shall develop a lighting plan. The lighting plan shall require that all lighting be directed and shielded as to minimize light spillage into nearby willow scrub habitat, as well as adjacent oak woodland habitats. The lighting plan shall be subject to approval by the County of San Mateo Planning Department.

From: Doug McBeth [<mailto:dougm@markgrossinc.com>]

Sent: Thursday, November 16, 2017 11:02 AM

To: Camille Leung <cleung@smcgov.org>

Cc: 'Noel Chamberlain' <noel@nexgenbuilders.com>

Subject: RE: Planning Comments on 10/17/17 submittal

Hi Camille,

Per our discussion, we made the following changes to the plans and I have attached all affected sheets.

- Added the MSL height for the building's highest ridge line.

- Confirmed that all exterior lights are shown on the elevations and included a spec sheet for each light type to show Dark Sky compliance for downward lighting. I also included the Utility sheets that shows all exterior lighting in plan view and how, in some cases, the exterior light is provided by a down light in the ceiling.

Please review and we will provide the 5 sets.

Best,



Douglas A. McBeth | Associate AIA

Mark Gross & Associates, Inc | Architecture + Planning

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doug@markgrossinc.com | *visit our new website www.markgrossinc.com



From: Camille Leung [<mailto:cleung@smcgov.org>]

Sent: Tuesday, November 07, 2017 12:20 PM

To: Chamberlain Noel

Cc: Chamberlain Jack; Fred; Ralph Osterling; Haga Roland; Doug McBeth; Tang Jonathan; John Brennan

Subject: RE: Planning Comments on 10/17/17 submittal

Hi Noel,

Please see attached comment letter for my review of the 10/31/17 submittal.

Outstanding Sign-offs for Lot 9:

Building, DPW, Sewer, Water and Waste Management

Outstanding Sign-offs for Lot 10, 11:

DPW, Sewer, Water and Waste Management

Please let me know if you have any questions.

Thanks

From: Camille Leung

Sent: Friday, October 20, 2017 10:40 AM

To: Chamberlain Noel <noel@nexgenbuilders.com>

Cc: Chamberlain Jack <tuttlec@aol.com>; Fred <fredh@nexgenbuilders.com>; Ralph Osterling

<ralph@ralphosterling.com>; Haga Roland <RHAGA@BKF.com>; Doug McBeth <doug@markgrossinc.com>; Tang

Jonathan <tang@bkf.com>

Subject: Planning Comments on 10/17/17 submittal

February 11, 2018

RE: LANDSCAPE PLAN CHECK WELO COMMENTS

FROM: S. MURPHY & ASSOCIATES/Landscape Architects, #2177

REC'VD PLANS: January 25, 2018 AND WELO CALCS for Lots 5-7 on Feb 9, 2018.

HIGHLANDS ESTATES/TICONDEROGA DRIVE/San Mateo

BLDG: 2016-00161 Lot 8 8,098 S.F.
00162 Lot 7 1,820 S. F.
00163 Lot 6 2,041 S.F.
00164 Lot 5 2,384 S. F.

PLANNER: C. Leung

LANDSCAPE ARCH: Van Dorn Abed, #3402, 415-864-1921

LANDSCAPE SF: Square footage of each individual lot, see above.

We have conducted our **3rd review** of the above referenced project and have the following comments: Our last review was conducted on July 28, 2016.

LANDSCAPE REQUIREMENTS TO ADDRESS WELO

1) Landscape Documentation Package-

- a. Please remind applicant that a Soils Fertility Test is required as per WELO. Add notes that all recommendations of Certified Plant Lab to be adhered to by Landscape Contractor on all planting areas. Please adhere these recommendations to final set of landscape plans.
- b. Please also remind applicant that an irrigation audit to be submitted to Planning, which will be checked.

2) General requirements as per July 28, 2016 WELO letter.

- a. All of these requirements have been accomplished.

3) Water Efficient Landscape Worksheet & Hydrozone Sheet L-4.2 –Lots 5-8

- a. The Landscape Architect recalculated the WELO worksheet using an Eto of 37, which is better suited to the microclimate of this area of San Mateo.
- b. All WELO calculations are compliant.

4) Landscape Architect says that all erosion control measures are located on Civil Plans, which should include hydroseeding of native plants and grasses to hold slopes. I did not receive any Civil Plans and will defer to Ms. Leung to verify these statements.

STATUS

- _____ Preliminary Approval (PLANNING CASES ONLY)- No changes or conditions necessary.
- _____ Preliminary Approval (PLANNING CASES ONLY) with Conditions of Approval
- _____ Approved-No changes or conditions necessary.
- ___XXXX_ Approve with Conditions of Approval –SOILS FERTILITY ANALYSIS REQUIRED
- _____ Fail

SUMMARY

Please relate the above comments to the applicant/Landscape Architect, so the necessary revisions can be made and resubmitted. As always, please remind the applicant that as part of the final landscape documentation an irrigation audit will be required. If you have any questions, please don't hesitate to give me a call.

Respectfully submitted,

Suzette Murphy

S. Murphy & Associates, LA #2177 415-722-7280

February 11, 2018

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STATUS

_____ Preliminary Approval (PLANNING CASES ONLY)- No changes or conditions necessary.

_____ Preliminary Approval (PLANNING CASES ONLY) with Conditions of Approval

_____ Approved-No changes or conditions necessary.

_____ XXXX Fail –SOILS FERTILITY ANALYSIS REQUIRED

SUMMARY

Please relate the above comments to the applicant/Landscape Architect, so the necessary revisions can be made and resubmitted. As always, please remind the applicant that as part of the final landscape documentation an irrigation audit will be required. If you have any questions, please don't hesitate to give me a call.

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Suzette Murphy

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